

**TOWN OF BOXFORD
ZONING BOARD OF APPEALS**

Time Stamp by Town
Clerk's Office
Received and Filed at Town Clerk's
Office, Boxford, Massachusetts
on 3/9/22 by MD

APPLICATION FOR:

- ☒ SPECIAL PERMIT/APPEAL OF INSPECTOR OF BUILDINGS (\$500.00)
☐ VARIANCE (\$550.00)
☐ 40B COMPREHENSIVE PERMIT \$500.00 plus \$50.00 per individual unit
☐ 40B COMPRESHENIVE PERMIT \$250.00 plus \$25.00 per individual unit for
Local Initiative Program

NOTE TO CLERK: @ 11:31 AM
DO NOT STAMP
WITHOUT INSPECTOR
OF BUILDINGS
APPROVAL

NO APPLICATION (EXCEPT FOR AN APPEAL OF THE INSPECTOR OF BUILDINGS) WILL BE ACCEPTED UNLESS EACH AND EVERY ITEM LISTED ON THE LAST PAGE OF THIS APPLICATION IS INCLUDED IN THE SUBMISSION. IF EACH AND EVERY ITEM IS NOT PROVIDED, YOUR APPLICATION MAY EITHER BE RETURNED TO YOU OR DENIED AT THE TIME OF THE HEARING FOR INCOMPLETNESS AND YOUR PROJECT WILL BE DELAYED.

Cases will be scheduled for a ZBA hearing only if your application has been (1) reviewed by the Inspector of Buildings, (2) time-stamped by the Town Clerk's Office, and (3) returned to the Building Department. **The Town Clerk office will not time-stamp your application without Certification by the Inspector of Buildings**

For Office Use Only
CERTIFICATE OF COMPLETENESS
Must be signed by the Inspector of Buildings prior to
Town Stamp

Peter J. Delaney 3-9-22
Inspector of Buildings Signature Date

For Office Use Only
Building Permit Denied _____
Reason Denied _____
Date Initial ZBA Application Received _____
Date of Inspector's Review _____
Date Returned to Applicant _____
Reason for return _____

PROPERTY OWNER INFORMATION

PROPERTY OWNER'S NAME Brian & Carol Hubbard

PROPERTY ADDRESS 4 Dana Road MAP/BLOCK/LOT 33/_02/_10

PROPERTY OWNER'S MAILING ADDRESS 4 Dana Road

PROPERTY OWNER'S PHONE NUMBER: 908-432-3991 PROPERTY OWNER'S E-MAIL carol@3pointbio.com

NO APPLICATION (EXCEPT FOR AN APPEAL OF THE INSPECTOR OF BUILDINGS) WILL BE ACCEPTED UNLESS EACH AND EVERY ITEM LISTED ON THIS PAGE IS INCLUDED IN THE SUBMISSION. IF EACH AND EVERY ITEM IS NOT PROVIDED, YOUR APPLICATION MAY EITHER BE RETURNED TO YOU OR DENIED AT THE TIME OF THE HEARING FOR INCOMPLETENESS AND YOUR PROJECT WILL BE DELAYED.

PROJECT PLANS REQUIRED FOR ALL APPLICATIONS

SITE PLAN--One (1) full size sets and four (4) copies (no larger than 11"x 17") drawn to not less than 1" = 20' scale and showing:

- ☐ a north arrow
- ☐ the name of the owner(s) and the street address of the property
- ☐ the name and address of person preparing the plan and the date of the plan
- ☐ Licensed surveyor/engineer's stamp
- ☐ all bordering street names
- ☐ the dimensions of the property lines and lot area (in square feet) of the lot to be built upon
- ☐ the locations and dimensions (including the square footage) of all existing and proposed buildings and other structures on the lot
- ☐ the distance to the property line(s) from all buildings and other structures on the lot
- ☐ the distance between all buildings and other structures on the lot
- ☐ all required setback distances
- ☐ all existing and proposed entrances and exits to both the lot and the buildings on the lot
- ☐ ALL OF THE PROPOSED WORK MUST BE HIGHLIGHTED IN RED

BUILDING PLANS and ELEVATIONS

One (1) full size set and four (4) copies (no larger than 11"x 17") drawn to not less than a ¼" = 1' scale and showing:

- ☐ a north arrow
- ☐ the name of the owner(s) and the street address of the property
- ☐ the name and address of person preparing the plan, and the date of the plan
- ☐ the exterior elevations (including windows, doors, porches, steps and other architectural features
- ☐ the interior floor plans including all dimensions
- ☐ for accessory apartments include floor area measurements/calculation as per ZBL 196-13.C(3)
- Subsequent plan revisions shall be so noted
- ☐ ALL PROPOSED WORK MUST BE HIGHLIGHTED IN RED

APPLICATION PACKET SHALL INCLUDE

One (1) full size set and four (4) copies of the following (collated into applications)

1. ☐ Application time-stamped by the Town Clerk;
2. ☐ Certified Abutter's List
3. ☐ Postage Fee Form
4. ☐ Authorization for Publication Form
5. ☐ Deed
6. ☐ Plot Plan
7. ☐ Architectural Plans
8. ☐ Photographs of the Property
9. ☐ Application fee (in the original application only, do not copy)

☐ *Electronic version of the complete application, including plans in PDF Format on flash drive if the information cannot be emailed as a single document to the ZBA Secretary.*

APPLICANT INFORMATION (IF DIFFERENT FROM OWNER)

NAME _____

RELATIONSHIP TO PROPERTY OWNER (for example, spouse, attorney, architect, etc.) _____

APPLICANTS MAILING ADDRESS _____

APPLICANT'S PHONE NUMBER: _____ APPLICANT'S E-MAIL _____

OWNER AUTHORIZATION

I, _____, as Owner of the subject property hereby authorize
_____ to act on my behalf in all matters relative to this
application.

Signature of Owner

Date

OWNER OR AUTHORIZED AGENT DECLARATION

I, _____, as Owner of the subject property hereby
authorize _____ to act on my behalf in all matters relative to
this application

Signature of Owner or Authorized Agent

Date

PURPOSE OF APPLICATION AND DESCRIPTION OF PROJECT

Purpose of Application: ☒ Special Permit ☐ Variance ☐ Appeal of Inspector of Buildings ☐ Comprehensive Permit

Description of Project:

Proposed detached barn with 1 additional garage bay, and storage for property maintenance, snow removal equipment and other recreational items. The additional garage bay would bring the total up to 4 garage bays on site. Previously, the property had 4 garage bays, 3 of which are on the left side of the house, and 1 of which was part of an in-law accessory apartment (right side). One of the 3 bays on the left side is being converted into mudroom space - construction is ongoing. The proposed detached barn has been designed to match the style and character of the main house.

Applicable Section(s) of Zoning Bylaw for which relief is sought:

Ch 196-13 Subsection B (11)(h) Garage space for more than 3 automobiles

Does the property, structure and/or use conform to the current Zoning Bylaw? Yes, with permitted accessory apt.

If not, describe the non-conformity (lot size, setback, use, frontage, etc.) _____

ZONING DISTRICT: ☒ R-A ☐ B-1 ☐ B-2 ☐ M ☐ O ☐ ELDERLY ☐ POND WATERSHED OVERLAY ☐ WIRELESS COMMUNICATION SERVICES
☐ FLOODPLAIN ☐ SOLAR OVERLAY

DATE LOT WAS CREATED: 1997 DATE STRUCTURE WAS BUILT: 1998 (accessory apt 2019)

DEED (Copy must be attached. Deed may be downloaded and printed from www.salemdeeds.com):

[BOOK 31173 PAGE 451] OR [CERTIFICATE NO. _____ DOCUMENT NO. _____]

POSTAGE FEE CALCULATION

POSTAGE FEE

In accordance with Article X, Section 196-49 of the Zoning bylaw of the Town of Boxford, you are required to pay the postage costs for the abutter notification of your application and decision.

The following is the formula used for determining the postage costs for each application:

Number of Certified Abutters
(including applicant & representative)
Notice of Hearing)

$$\underline{10} \times \$7.38 = \underline{73.80}$$

Number of Surrounding Towns & MVPC

$$9 \times \$7.38 = \$66.42$$

Number of Certified Abutters (including applicant & representative)
Notice of Decision

$$\underline{10} \times \$0.58 = \underline{5.80}$$

TOTAL AMOUNT OWED FOR POSTAGE FEE

$$\underline{\$146.02}$$

Please remit a check separate from the filing fee, payable to the Town of Boxford, for the total amount owed for postage.

CAVALLARO HEINZ PAMELA TR
P & S REALTY TRUST
47 TOPSFIELD ROAD
BOXFORD, MA 01921

RAGO NANCY TRUSTEE
5 DANA RD
BOXFORD, MA 01921

HUBBARD BRIAN K
HUBBARD CAROL J
4 DANA RD
BOXFORD, MA 01921

WAKEMAN, CHRISTOPHER A
WAKEMAN, ANNE M
11 DANA RD
BOXFORD, MA 01921

MCALEER LAURIE A
74 WHITNEY HILL LOOP
JACKSON, NH 03846

BARNES RYAN
BARNES HAILI E
12 DANA RD
BOXFORD, MA 01921

CONNORS KEVIN J TE
CONNORS CYNTHIA A
43 TOPSFIELD RD
BOXFORD, MA 01921

TROAKE KAREN C - TRUSTEE
J&K TROAKE FAMILY TRUST
51 TOPSFIELD RD
BOXFORD, MA 01921

CASTNER NAOMI K TR
CASTNER FAM RLT TR
10 CAHOON RD
BOXFORD, MA 01921

TOWN OF BOXFORD
BOY SCOUT PARK
7A SPOFFORD RD
BOXFORD, MA 01921

33-02-10 - 4 DANA RD, BOXFORD ABUTTERS LIST
ZONING BOARD OF APPEALS 300'

Parcel ID	Location	Owner	Owner 2	Owner Address	Owner City/Town	Owner State	Zip Code
33-02-10	4 DANA RD	HUBBARD BRIAN K	HUBBARD CAROL J	4 DANA RD	BOXFORD	MA	01921
33-02-10-1	DANA RD	MCALEER LAURIE A		74 WHITNEY HILL LOOP	JACKSON	NH	03846
33-02-10-10	5 DANA RD	RAGO NANCY TRUSTEE		5 DANA RD	BOXFORD	MA	01921
33-02-10-3	12 DANA RD	BARNES RYAN	BARNES HALLI E	12 DANA RD	BOXFORD	MA	01921
33-02-10-9	11 DANA RD	WAKEMAN, CHRISTOPHER A	WAKEMAN, ANNE M	11 DANA RD	BOXFORD	MA	01921
33-02-11	47 TOPSFIELD RD	CAVALLARO HEINZ PAMELA TR	P & S REALTY TRUST	47 TOPSFIELD ROAD	BOXFORD	MA	01921
33-02-37	51 TOPSFIELD RD	TROAKE KAREN C - TRUSTEE	J&K TROAKE FAMILY TRUST	51 TOPSFIELD RD	BOXFORD	MA	01921
33-02-06	TOPSFIELD RD	TOWN OF BOXFORD	BOY SCOUT PARK	7A SPOFFORD RD	BOXFORD	MA	01921
33-02-09	10 CAHOON RD	CASNER NAOMI K TR	CASNER FAM RL TR	10 CAHOON RD	BOXFORD	MA	01921
33-02-09-1	43 TOPSFIELD RD	CONNORS KEVIN J TE	CONNORS CYNTHIA A	43 TOPSFIELD RD	BOXFORD	MA	01921

CERTIFIED COPY
03/02/2022

Heather Thigault

2 NE

AK-4

2012031600313 Bk:31173 Pg:451
03/16/2012 01:39 DEED Pg 1/2

MASSACHUSETTS EXCISE TAX
Southern Essex District ROD
Date: 03/16/2012 01:39 PM
ID: 890488 Doc# 20120316003130
Fee: \$5,328.36 Cons: \$1,168,500.00

QUITCLAIM DEED

We, **RICHARD HALLWORTH** and **CHARLOTTE M. HALLWORTH**, husband and wife,
of 178 Charleston Park, Nashville, Tennessee, 37205

for consideration paid, in full consideration of **One Million, One Hundred Sixty-eight
Thousand Five Hundred and 00/100 (\$1,168,500.00) Dollars**

grant to **BRIAN K. HUBBARD** and **CAROL J. HUBBARD**, husband and wife, of 6 97
Juniper Way, Basking Ridge, New Jersey, as tenants by the entirety

with QUITCLAIM COVENANTS

The land with the buildings thereon on Dana Road in Boxford, Essex County, Massachusetts,
being shown as "Lot 2C" on Plan entitled "Plan of Land in Boxford, MA" Prepared for Dana W.
Cahoon dated February 4, 1997 by Hancock Survey Associates, Inc., and recorded with the
Essex South District Registry of Deeds at Plan Book 325, Plan 24, and being more particularly
bounded and described as follows:

Beginning at the Westerly corner of Parcel 1A on the Southeasterly side of Dana Road and
running Southeasterly by Parcel 1A a distance of 356.93 feet to Lot B; thence running:

- SOUTHWESTERLY: by Lot B a distance of 25.00 feet to a point; thence running
- SOUTHEASTERLY: by Lot B a distance of 95.16 feet to a point; thence running
- SOUTHWESTERLY: by Lot B a distance of 330.26 feet to Parcel 2B; thence running
- NORTHWESTERLY: by Parcel 2B a distance of 147.86 feet to Dana Road; thence
running
- NORTHERLY AND
NORTHEASTERLY: by Dana Road 473.91 feet to Parcel 1A and the point of beginning.

Containing 2.6499 acres more or less, all as shown on said plan.

Property Address: 4 Dana Road, Boxford, MA 01921

2 NE

AK-4

2012031600313 Bk:31173 Pg:451
03/16/2012 01:39 DEED Pg 1/2

MASSACHUSETTS EXCISE TAX
Southern Essex District ROD
Date: 03/16/2012 01:39 PM
ID: 890488 Doc# 20120316003130
Fee: \$5,328.36 Cons: \$1,168,500.00

QUITCLAIM DEED

We, **RICHARD HALLWORTH** and **CHARLOTTE M. HALLWORTH**, husband and wife,
of 178 Charleston Park, Nashville, Tennessee, 37205

for consideration paid, in full consideration of **One Million, One Hundred Sixty-eight
Thousand Five Hundred and 00/100 (\$1,168,500.00) Dollars**

grant to **BRIAN K. HUBBARD** and **CAROL J. HUBBARD**, husband and wife, of 6 97
Juniper Way, Basking Ridge, New Jersey, as tenants by the entirety

with QUITCLAIM COVENANTS

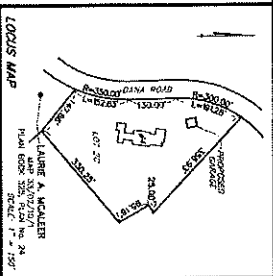
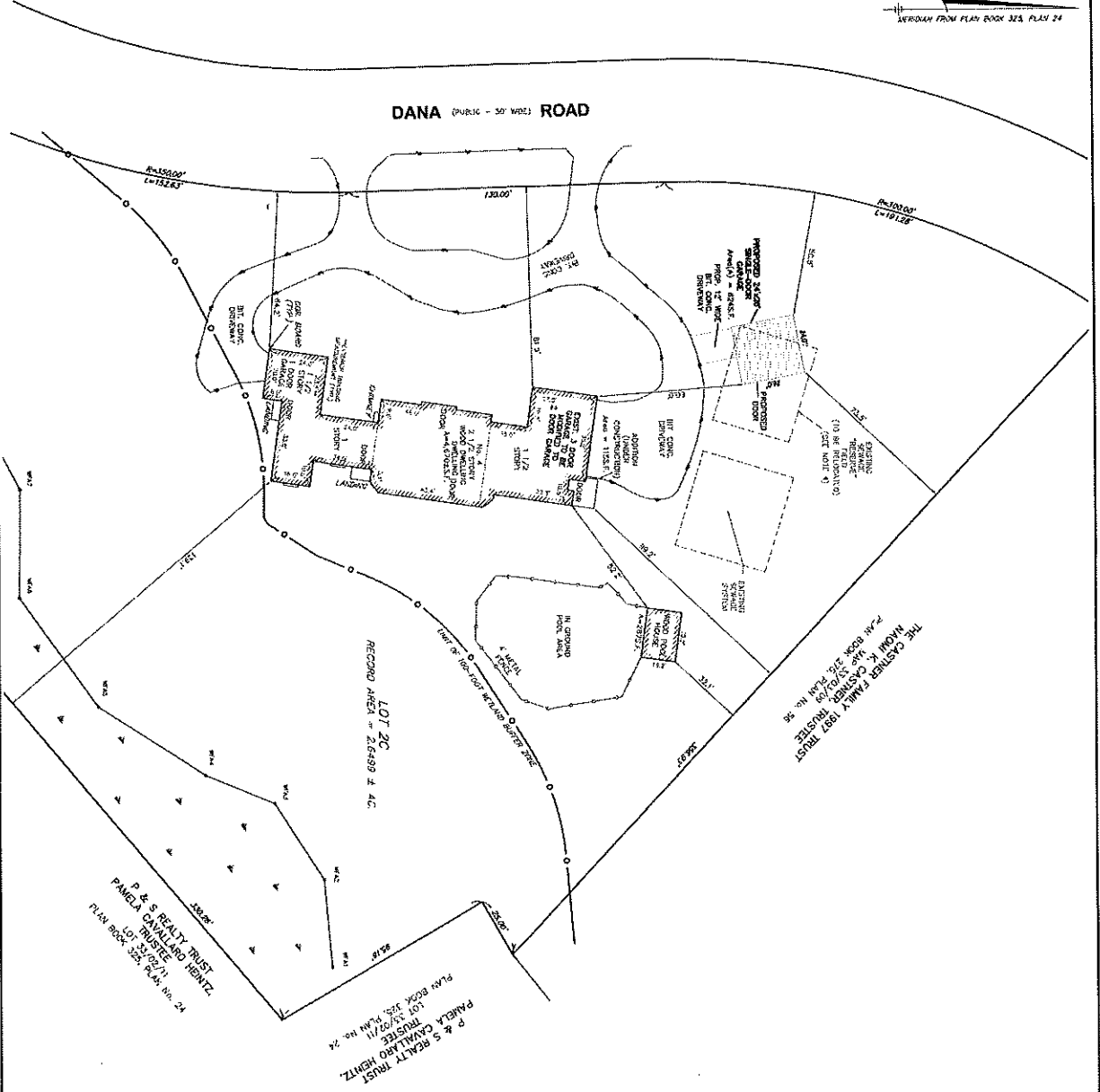
The land with the buildings thereon on Dana Road in Boxford, Essex County, Massachusetts,
being shown as "Lot 2C" on Plan entitled "Plan of Land in Boxford, MA" Prepared for Dana W.
Cahoon dated February 4, 1997 by Hancock Survey Associates, Inc., and recorded with the
Essex South District Registry of Deeds at Plan Book 325, Plan 24, and being more particularly
bounded and described as follows:

Beginning at the Westerly corner of Parcel 1A on the Southeasterly side of Dana Road and
running Southeasterly by Parcel 1A a distance of 356.93 feet to Lot B; thence running:

SOUTHWESTERLY:	by Lot B a distance of 25.00 feet to a point; thence running
SOUTHEASTERLY:	by Lot B a distance of 95.16 feet to a point; thence running
SOUTHWESTERLY:	by Lot B a distance of 330.26 feet to Parcel 2B; thence running
NORTHWESTERLY:	by Parcel 2B a distance of 147.86 feet to Dana Road; thence running
NORTHERLY AND NORTHEASTERLY:	by Dana Road 473.91 feet to Parcel 1A and the point of beginning.

Containing 2.6499 acres more or less, all as shown on said plan.

SECTION FROM PLAT BOOK 312, PLAT 24



ASSESSORS:
MAP 11, PLAT 2, LOT 10

ZONING:
P-4 RESIDENTIAL-ADULT USE

REFERENCES:
PLAT BOOK 312, PLAT 24
PLAT BOOK 312, PLAT 24
PLAT BOOK 312, PLAT 24

RECORD OWNER:
PANELA CAVALIERO HENTZ
101 1/2 DANA ROAD
BOXFORD, MA 01702

NOTES:
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED
DEVELOPMENT OF THE SITE.
2. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE
APPROVAL OF THE BOARD OF ZONING.
3. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE
APPROVAL OF THE BOARD OF ZONING.

LEGEND:
--- LOT OF PROPOSED DEVELOPMENT
--- LOT OF PROPOSED DEVELOPMENT
--- LOT OF PROPOSED DEVELOPMENT



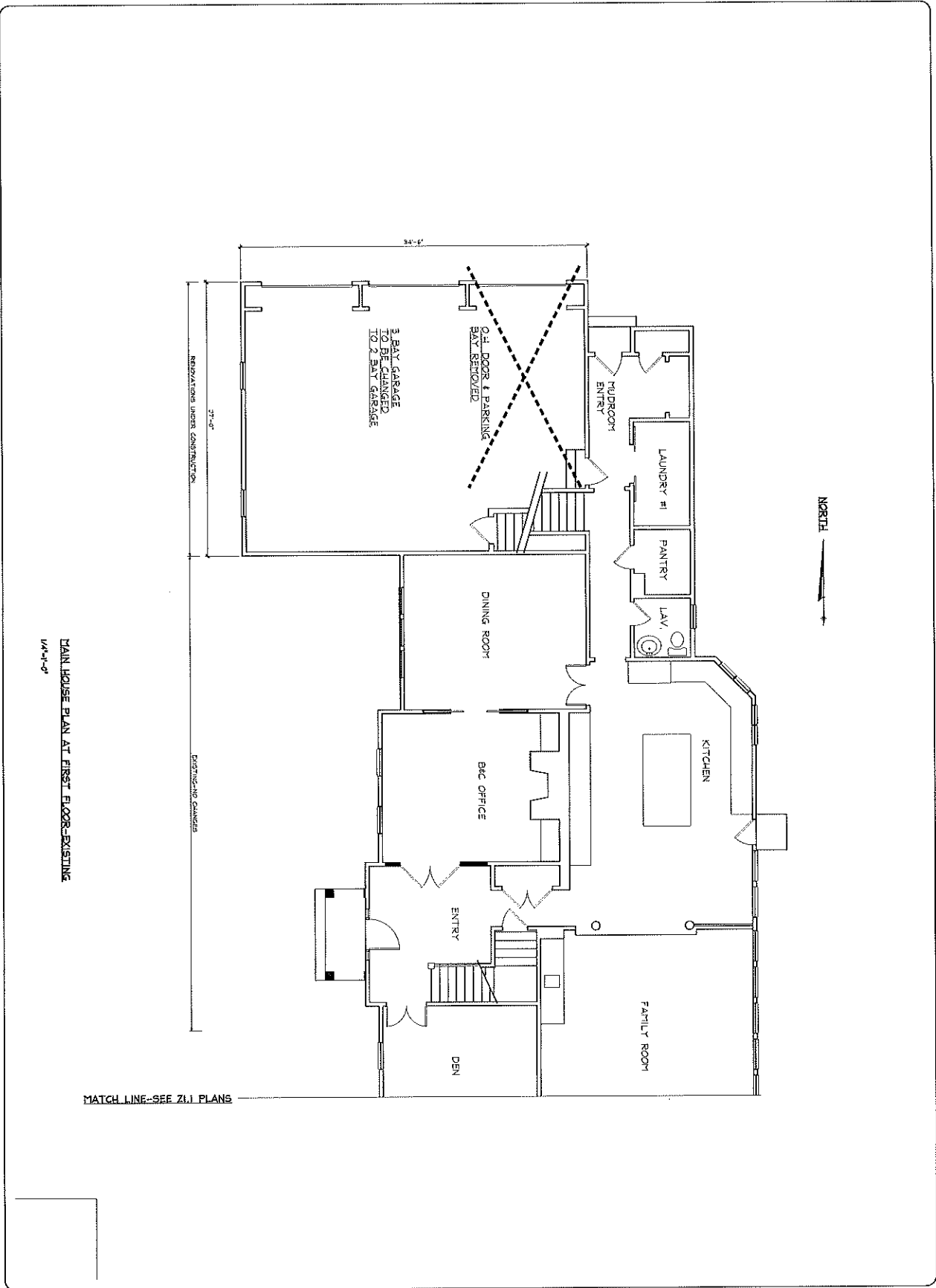
4 DANA ROAD
Boxford, Massachusetts 01702

BRANK, & CAROL J. HUBBARD
4 Dana Road
Boxford, Massachusetts 01702

HANCOCK ASSOCIATES
Civil Engineers
Land Surveyors
Wildland Scientists

PROPOSED PLOT
PLAN OF LAND
IN
BOXFORD, MA

PROJECT NO. 17747



Z1.0

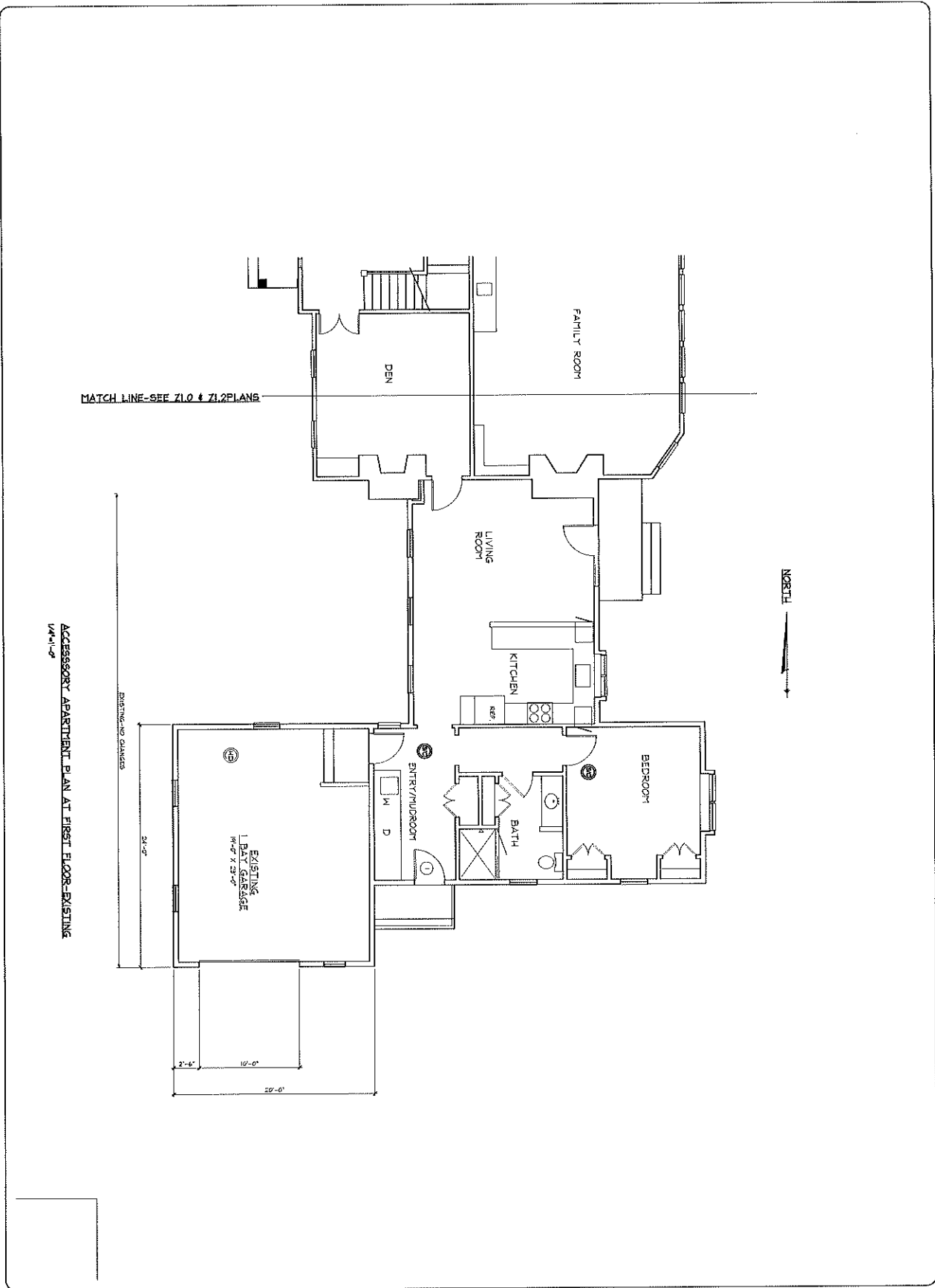
ALTERATIONS & ADDITIONS FOR
BRIAN & CAROL HUBBARD
4 DANA ROAD
BOXFORD, MA

GROUND FLOOR PLANS
SCALE: 1/4"=1'-0"

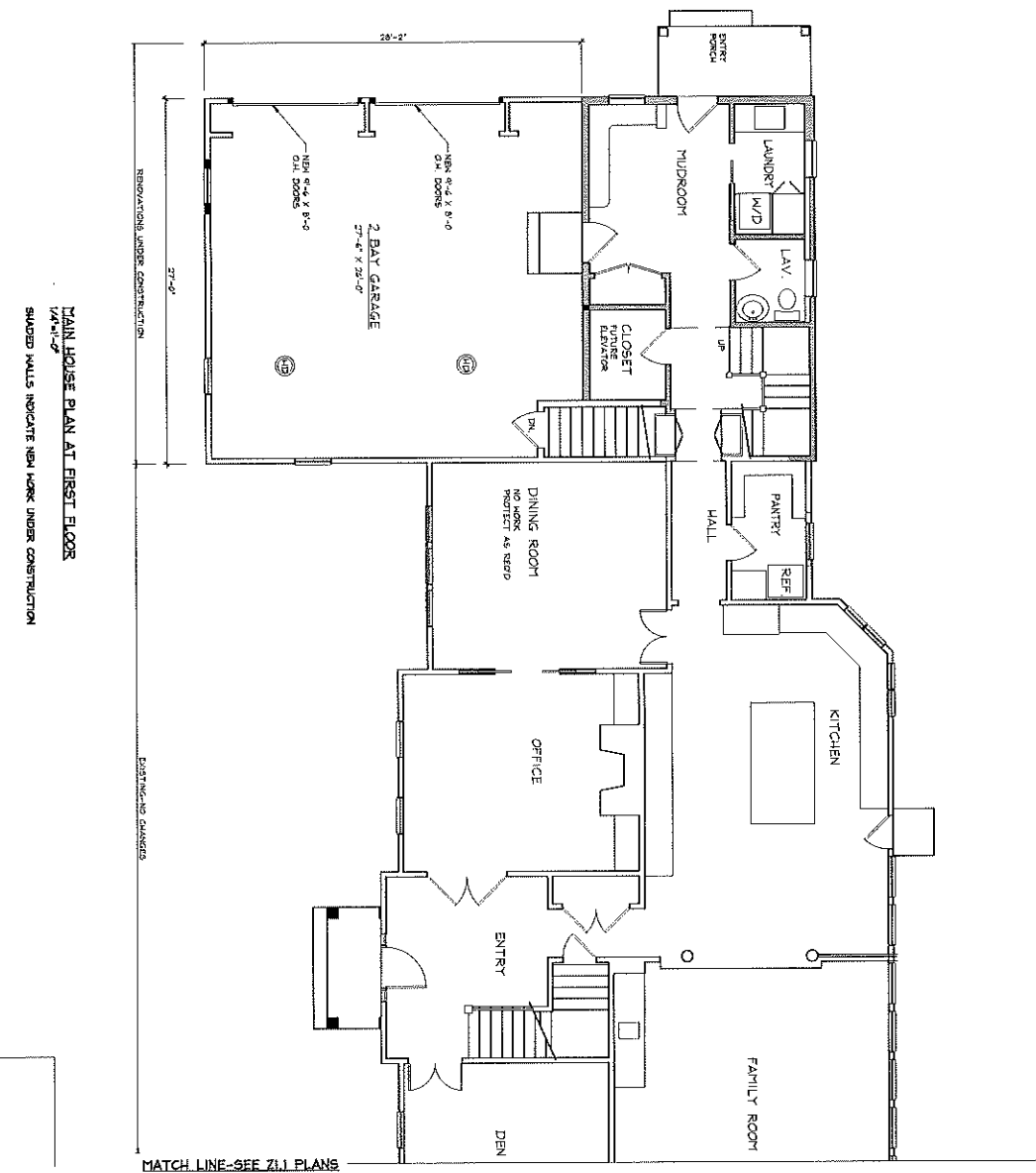
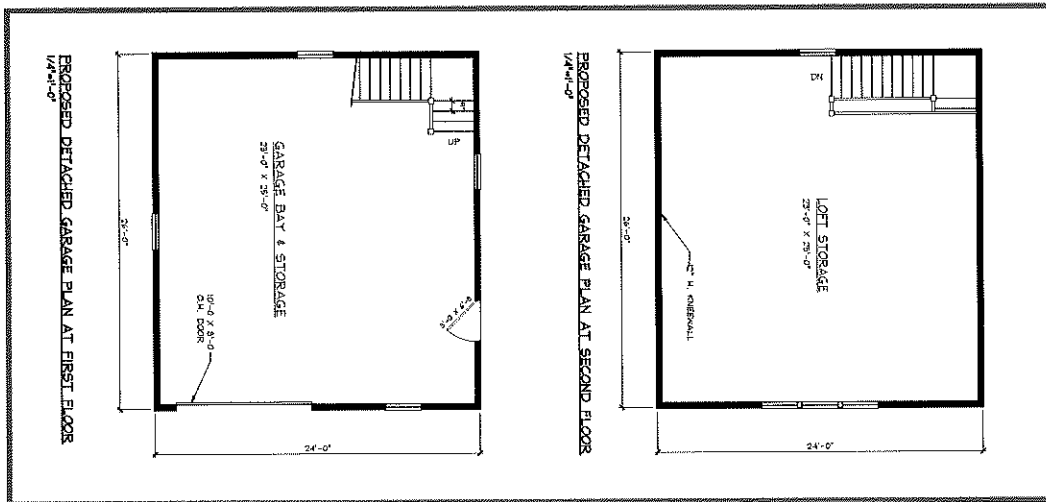
PRINTS MADE:
MARCH 7, 2022

DRAWN BY:
DS

BENJAMIN NUTTER ARCHITECTS, LLC
POST OFFICE BOX 254
TOPSFIELD, MASSACHUSETTS 01968
TEL: 978.867.9636
BENJAMIN@NUTTER.COM



Z1.1	ALTERATIONS & ADDITIONS FOR BRIAN & CAROL HUBBARD 4 DANA ROAD BOXFORD, MA	GROUND FLOOR PLANS SCALE: 1/4"=1'-0"	PRINTS MADE: MARCH 7, 2022	DRAWN BY: DS	BENJAMIN NUTTER ARCHITECTS, LLC POST OFFICE BOX 254 TOPSFIELD, MASSACHUSETTS 01968 T: 978.687.9836 BENJAMINNUTTER.COM
------	--	---	-------------------------------	-----------------	---



10'-0" x 8'-0"
FLUSH PANEL
ON SIDING
1/4"-1'-0"

EXISTING ACCESSORY APARTMENT RIGHT SIDE ELEVATION (SOUTHERLY)
1/4"-1'-0"

MATCH LINE

MAIN HOUSE FRONT ELEVATION (WESTERLY)
1/4"-1'-0"

