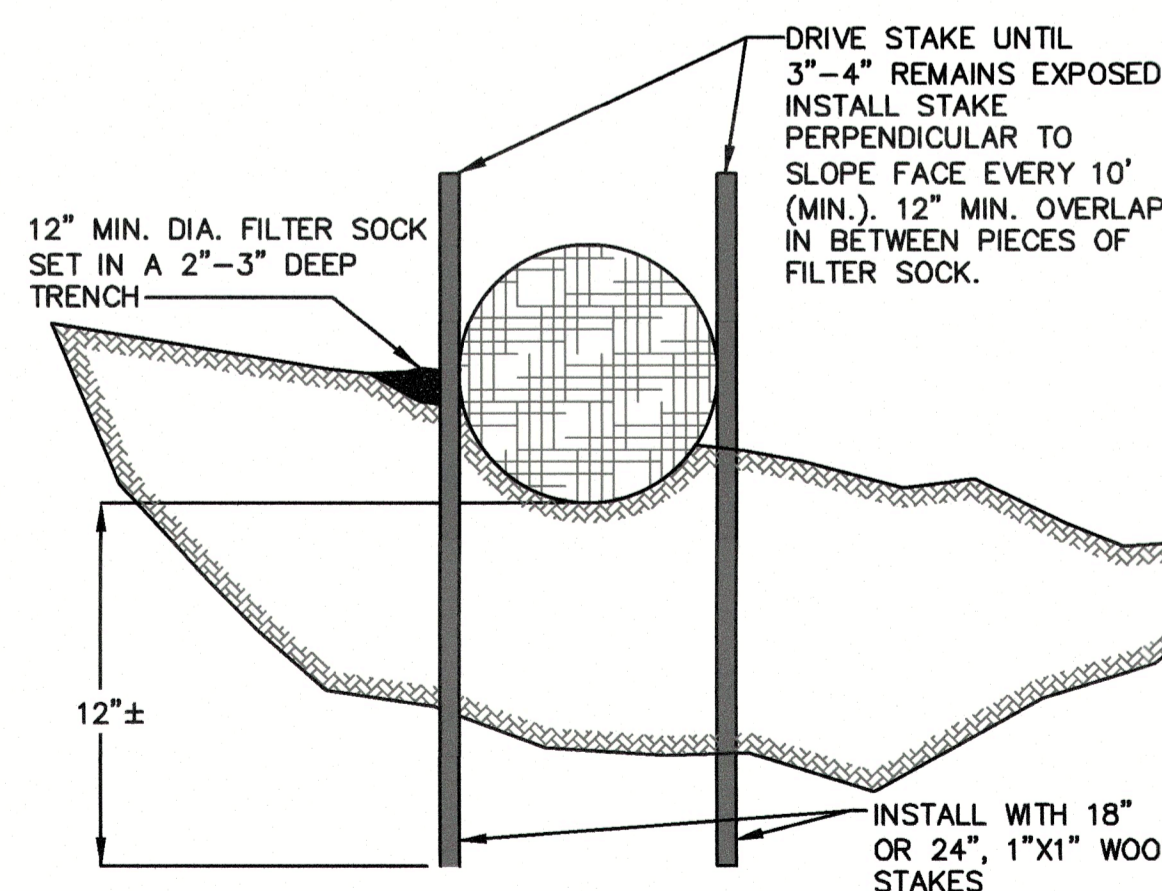
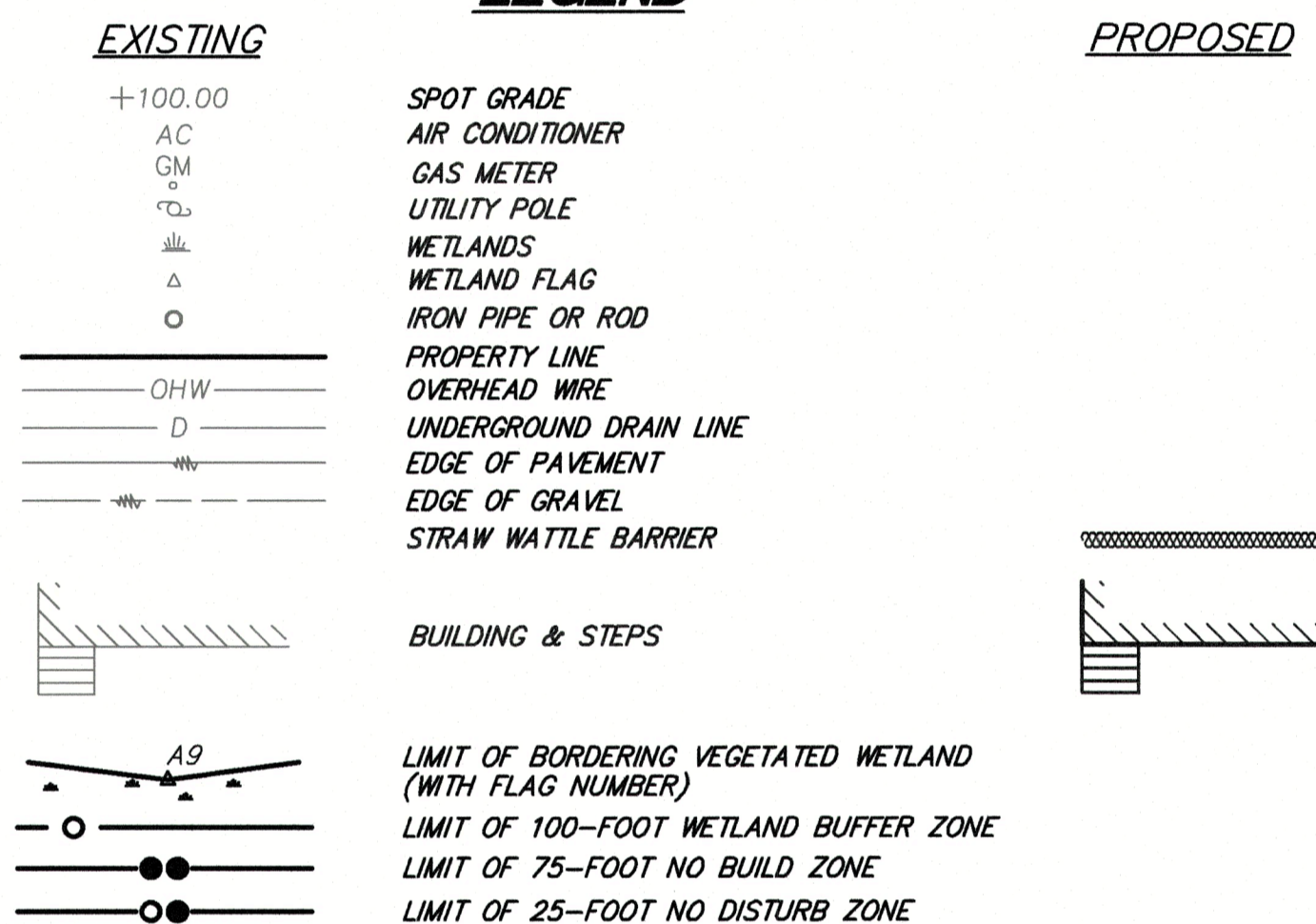


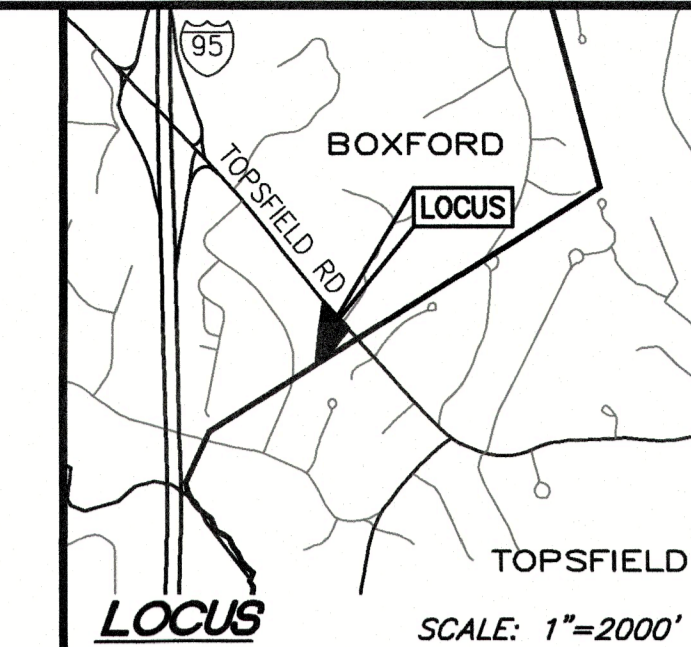
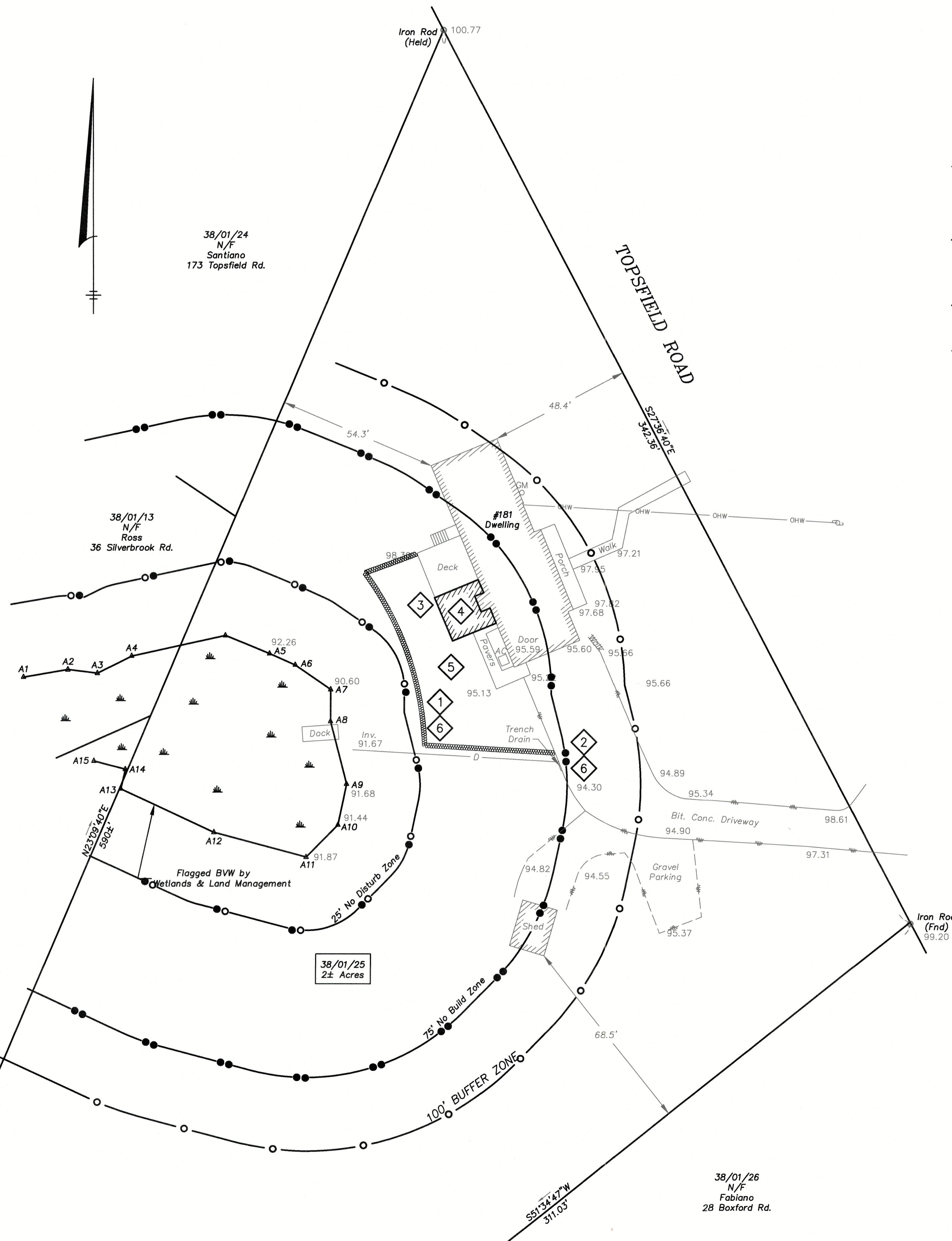
**CONSTRUCTION KEY NOTES AND SEQUENCE:**

1. INSTALL STRAW WATTLE BARRIER SO THAT ACCESS IS LIMITED TO ENTRANCE FROM DRIVEWAY.
2. ISOLATE EXISTING TRENCH DRAIN BY:
  1. CAP DISCHARGE PIPING INSIDE INLET BOX
  2. PLACE 10 MIL POLY SHEET BETWEEN INLET BOX GRATE AND INLET BOX
  3. PLACE TIMBER OR OTHER WEIGHT OVER INLET BOX GRATE AND POLY SHEET TO KEEP WATER FROM INFILTRATING INLET BOX
  4. CAP OUTLET OF DRAIN PIPING.
3. EXCAVATE AND REMOVE MATERIALS FOR ADDITION FOUNDATION FROM SITE EXCEPT AS NECESSARY FOR BACK FILL.
4. FORM, POUR AND BACKFILL ADDITION FOUNDATION. CONSTRUCT BUILDING ADDITION.
5. LOAM AND SEED ALL DISTURBED AREAS.
6. REMOVE STRAW WATTLE BARRIER AND TRENCH DRAIN ISOLATION ONCE VEGETATION SITE IS FULLY STABILIZED.

**LEGEND**



- NOTES:**
1. SOCK SIZE DEPICTED IS FOR GENERAL USE. GREATER SLOPES MAY REQUIRE LARGER SOCK.
  2. COMPOST MATERIAL MAY BE DISPERSED ON SITE AT THE DISCRETION OF THE APPROVING AUTHORITY.
  3. PRIOR TO SETTING THE SOCK REMOVE LOOSE LITTER, BRANCHES AND OTHER MATERIAL THAT MAY PREVENT THE SOCK FROM DIRECT CONTACT WITH SOIL.



**PERMIT SITE PLAN**

181 Topsfield Road  
Boxford, Massachusetts 01921

ASSESSORS:  
PARCEL ID  
38-1-25

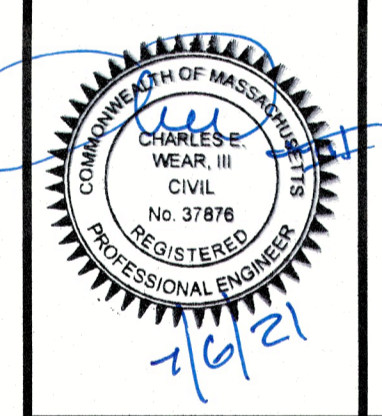
PREPARED FOR:  
**Richard Lombardo**

181 Topsfield Road  
Boxford, Massachusetts 01921

**HANCOCK ASSOCIATES**

Civil Engineers  
Land Surveyors  
Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923  
VOICE (978) 777-3050, FAX (978) 774-7816  
WWW.HANCOCKASSOCIATES.COM



**REFERENCES:**

DEED BOOK 36020 PAGE 397  
PLAN #189 OF 1964  
PLAN BK. B6 PLAN 52  
PLAN #172 OF 1964

**RECORD OWNER:**

RICHARD L LOMBARDO  
181 TOPSFIELD ROAD  
BOXFORD, MA 01921

**ZONING:**

ZONING DISTRICT RA

**NOTES:**

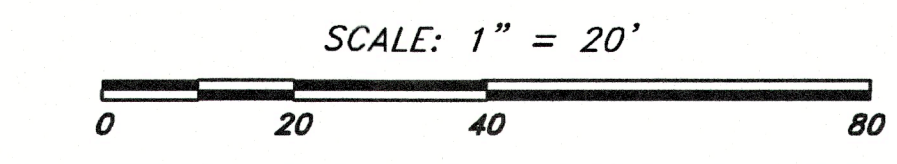
1. THIS PLAN SHALL ACCOMPANY A NOTICE OF INTENT FILED WITH THE BOXFORD CONSERVATION COMMISSION AND THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (MA DEP).
2. EXISTING CONDITIONS REFERENCED HEREIN ARE FROM PLAN ENTITLED "EXISTING SITE PLAN, 181 TOPSFIELD ROAD, BOXFORD, MASSACHUSETTS" BY VERNON LEBLANC SURVEY ASSOCIATES, INC. DATED AUGUST 31, 2020.
3. SPOT GRADES SHOWN HEREIN ARE ON AN ASSUMED DATUM.
4. LIMITS OF BORDERING VEGETATED WETLANDS SHOWN HEREON WERE DELINEATED BY WETLANDS AND LAND MANAGEMENT PER EXISTING CONDITIONS PLAN.
5. CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
6. SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND / OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
8. THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SUBSURFACE DRAINAGE TO PREVENT INTERIOR FLOODING.
9. PROPOSED BUILDING FOUNDATION CONFIGURATION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE VERIFIED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS AND ZONING ORDINANCES PRIOR TO CONSTRUCTION.
10. STRAW WATTLE SHOWN HEREON SHALL BE INSTALLED BEFORE EARTH DISTURBANCE BEGINS AND SHALL SERVE AS THE LIMIT OF WORK.
11. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC ROADS.
12. LOCATION OF UNDERGROUND UTILITIES INCLUDING WATER SERVICE, WELL (IF ANY) AND SEPTIC SYSTEM ARE UNKNOWN. CONTRACTOR SHALL CONTACT "DIG-SAFE" FOR AN UNDERGROUND UTILITY MARKING AT 811 AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK AND SHALL MAKE FURTHER INVESTIGATION WITH OWNER AS NEEDED TO CONFIRM UTILITY LOCATIONS BEFORE EXCAVATION.
13. CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
14. ALL WORK OUTSIDE OF THE BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF THE BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
15. CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).

NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION
1	JUP	CEW	7/6/21	CONCOM	COMMENTS ADDRESSED

**SITE PLAN OF LAND IN BOXFORD, MA**

PLOT DATE: Jul 06, 2021 9:34 am  
PATH: F:\CIVIL 3D Projects\25106 - Lombardo - Boxford\Eng\DWG\

DWG: 25106psp.dwg  
LAYOUT: PSP  
SHEET: 1 OF 1  
PROJECT NO.: 25106



38/01/26  
N/F  
Fabiano  
28 Boxford Rd.