

**GENERAL NOTES:**

1. THIS PLAN HAS BEEN PREPARED FOR OUR CLIENTS USE ONLY FOR THE SPECIFIC PURPOSE OF OBTAINING PERMITS AND LOCAL APPROVALS, AND IS NOT TO BE USED OR RELIED UPON AS A CONSTRUCTION DOCUMENT OR ANY OTHER USE BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE MORIN-CAMERON GROUP, INC.
2. THE EXISTING CONDITIONS SHOWN HEREON ARE BASED ON AN ON-THE-GROUND SURVEY PERFORMED BY THE MORIN-CAMERON GROUP IN FEBRUARY 2021 AND NOVEMBER 2021.
3. PROPERTY LINE INFORMATION DEPICTED HEREON IS BASED ON A PLAN ENTITLED "SUBDIVISION PLAN OF LAND IN BOXFORD" PREPARED BY THOMAS E. NEVE ASSOCIATES, INC. SURVEYORS DATED AUGUST 3, 1994 AND RECORDED AS LAND COURT CERTIFICATE NO. 65096.
4. LOCATION OF SEPTIC FACILITY TAKEN FROM PLAN ENTITLED "SEPTIC SYSTEM AS BUILT" BY SCOTT L. GILES, DATED NOVEMBER 2, 1995 ON FILE WITH THE BOXFORD HEALTH DEPARTMENT.
5. WETLAND RESOURCE AREAS DELINEATED BY DEROSA ENVIRONMENTAL CONSULTANTS, INC. ON FEBRUARY 18, 2021.

**RECORD OWNER:**

GEOFFREY SAMUEL CHRISTANDAY  
LAND COURT CERTIFICATE #92804  
ASSESSOR'S MAP 19, BLOCK 3, LOT 16.28

**FLOOD NOTE:**

A PORTION OF THE SUBJECT PROPERTY IS LOCATED IN A ZONE A: 1% ANNUAL CHANCE OF FLOODING AS ILLUSTRATED ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 25009C-0234F, WHICH HAS AN EFFECTIVE DATE OF JULY 3, 2012.

**DATUM:**

ELEVATIONS HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

**ZONING:**

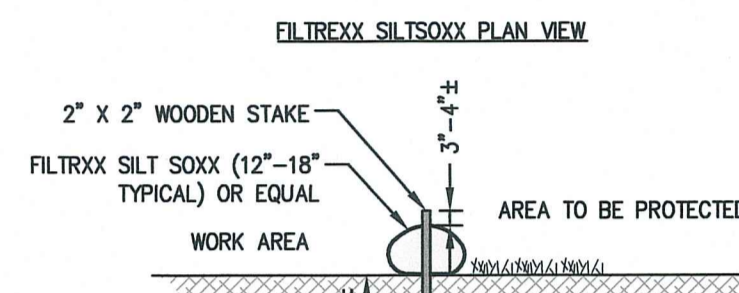
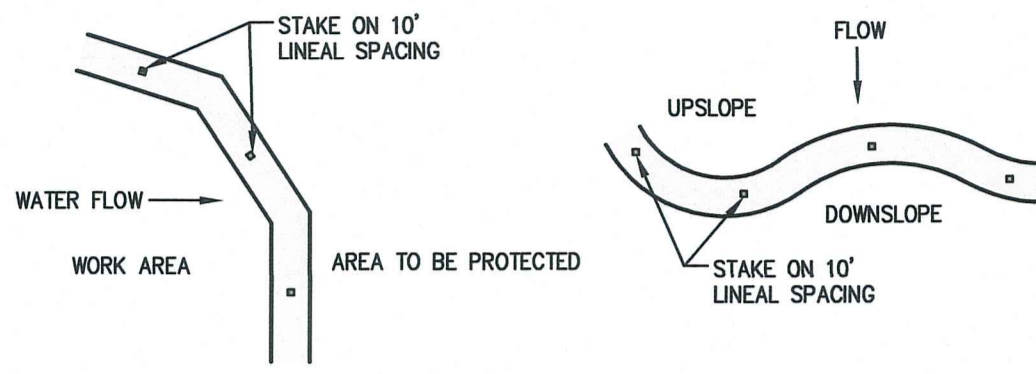
- RESIDENCE-AGRICULTURE DISTRICT
- POND WATERSHED OVERLAY DISTRICT
- FLOODPLAIN DISTRICT

**ABBREVIATIONS:**

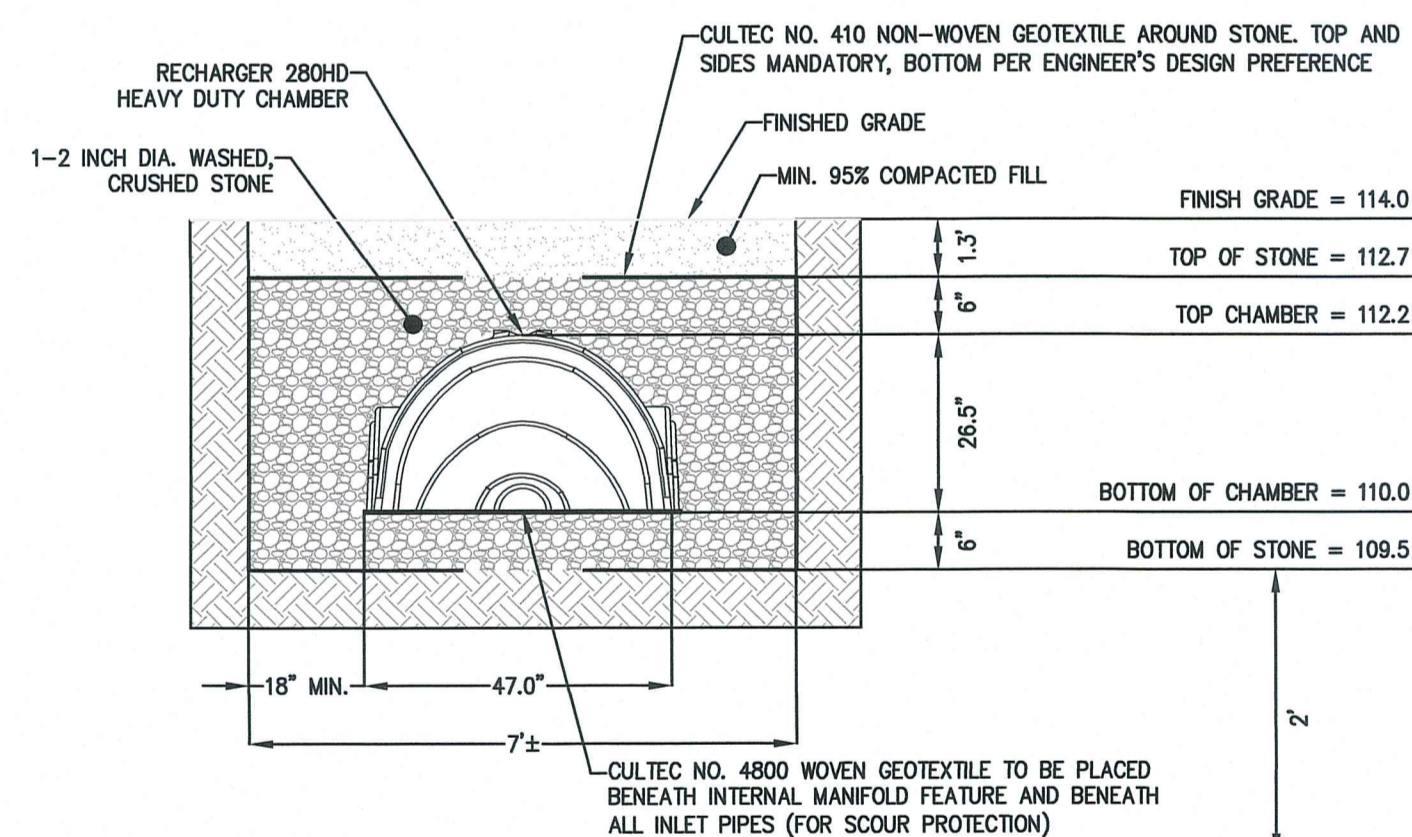
- |             |                             |
|-------------|-----------------------------|
| APPROX BDRM | APPROXIMATE BEDROOM         |
| BM          | BENCHMARK                   |
| BVW         | BORDERING VEGETATED WETLAND |
| CMP         | CORRUGATED METAL PIPE       |
| DS          | DOWNSPOUT                   |
| ELEV        | ELEVATION                   |
| FF          | FINISHED FLOOR              |
| HDPE        | HIGH DENSITY POLYETHYLENE   |
| N/F         | NOW OR FORMERLY             |
| PROP        | PROPOSED                    |
| TOP         | TOP OF FOUNDATION           |
| TYP         | TYPICAL                     |

**LEGEND:**

- |  |  |
|--|--|
|  | MAJOR CONTOUR                                  |
|  | MINOR CONTOUR                                  |
|  | LIMIT OF BVW                                   |
|  | APPROXIMATE LIMIT OF FLOODPLAIN                |
|  | LIMIT OF 25' NO DISTURB ZONE (FROM FLOODPLAIN) |
|  | LIMIT OF 75' NO BUILD ZONE (FROM FLOODPLAIN)   |
|  | LIMIT OF 100' BUFFER ZONE (FROM FLOODPLAIN)    |
|  | LIMIT OF NATURAL HERITAGE                      |
|  | EDGE OF WATER                                  |
|  | RETAINING WALL                                 |
|  | WOOD FENCE                                     |
|  | DOWNSPOUT                                      |
|  | TREE   |



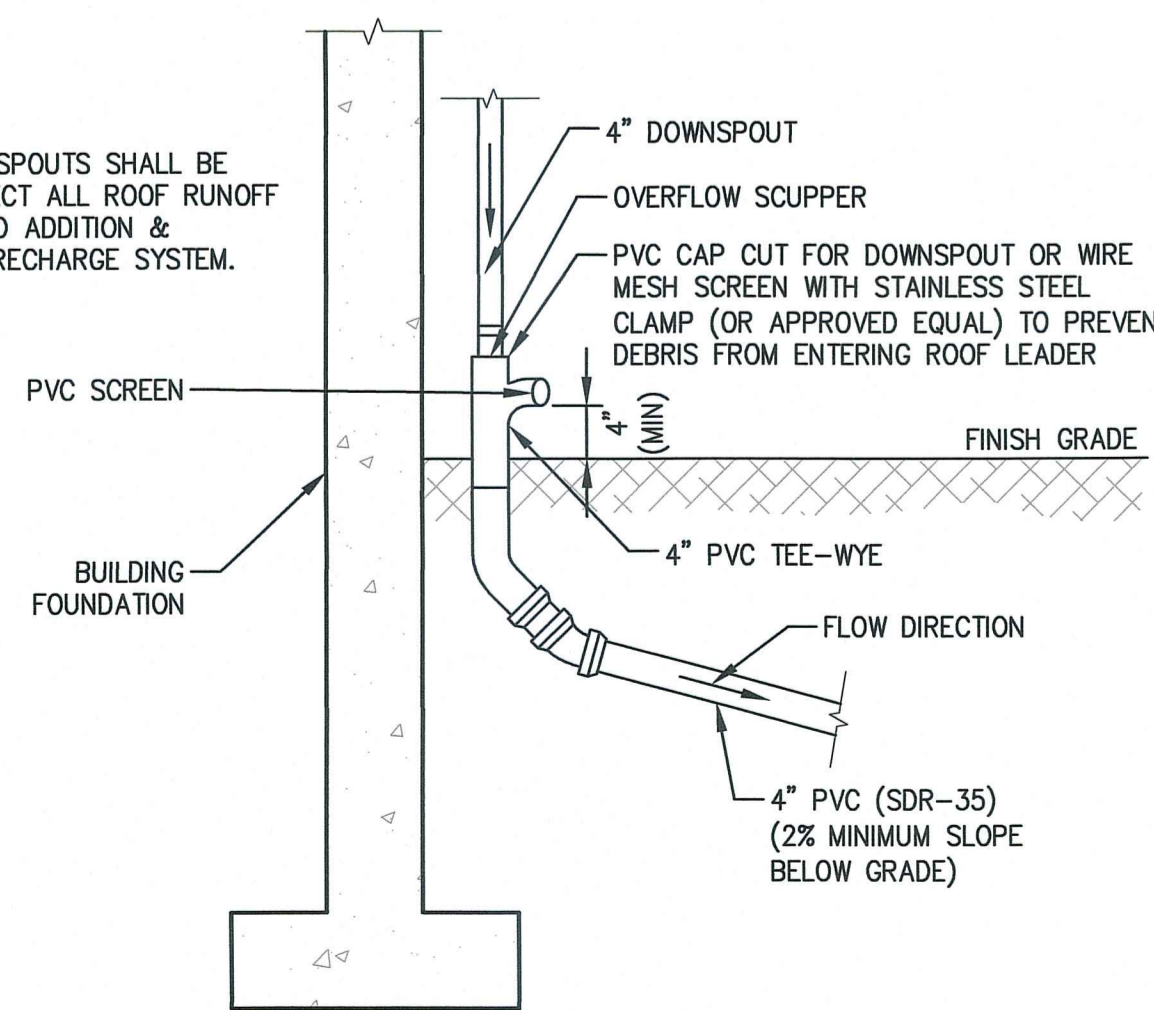
**FILTREXX SILT SOCK PLAN VIEW**  
**FILTREXX SILT SOCK SECTION**  
**SILT SOCK (N.T.S.)**



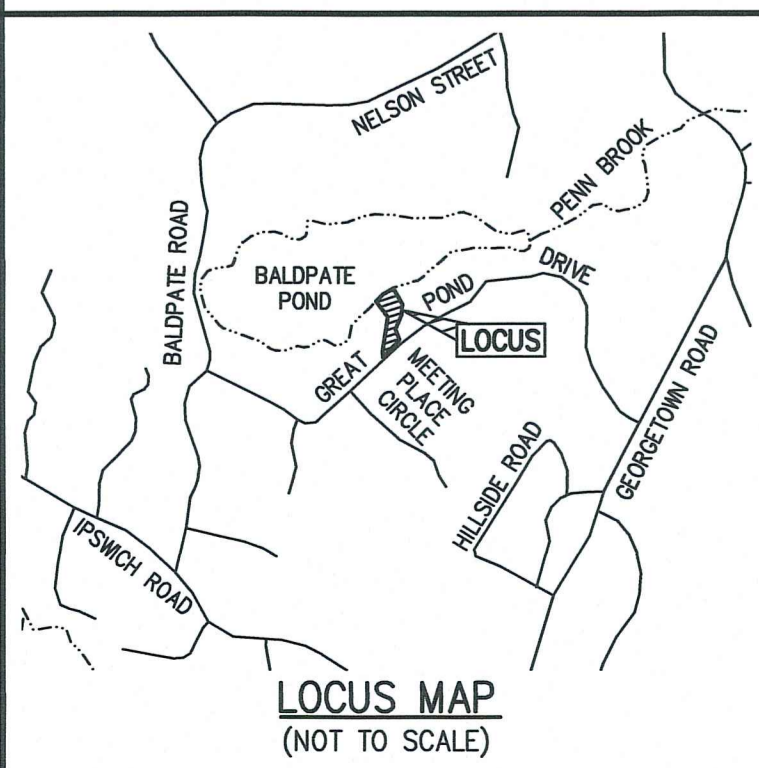
**CULTEC RECHARGER 280HD RECHARGE SYSTEM (NOT TO SCALE)**

**REFUSAL NOTE:**  
BASED ON PREVIOUS SOIL TESTING REFUSAL FOUND AT 84" (ELEV=107.5). NO GROUNDWATER OR ESTIMATED SEASONAL HIGH WATER TABLE WERE OBSERVED.

**NOTE:**  
GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED TO COLLECT ALL ROOF RUNOFF FROM THE PROPOSED ADDITION & CONVEY IT TO THE RECHARGE SYSTEM.



**DOWN SPOUT ROOF LEADER (NOT TO SCALE)**



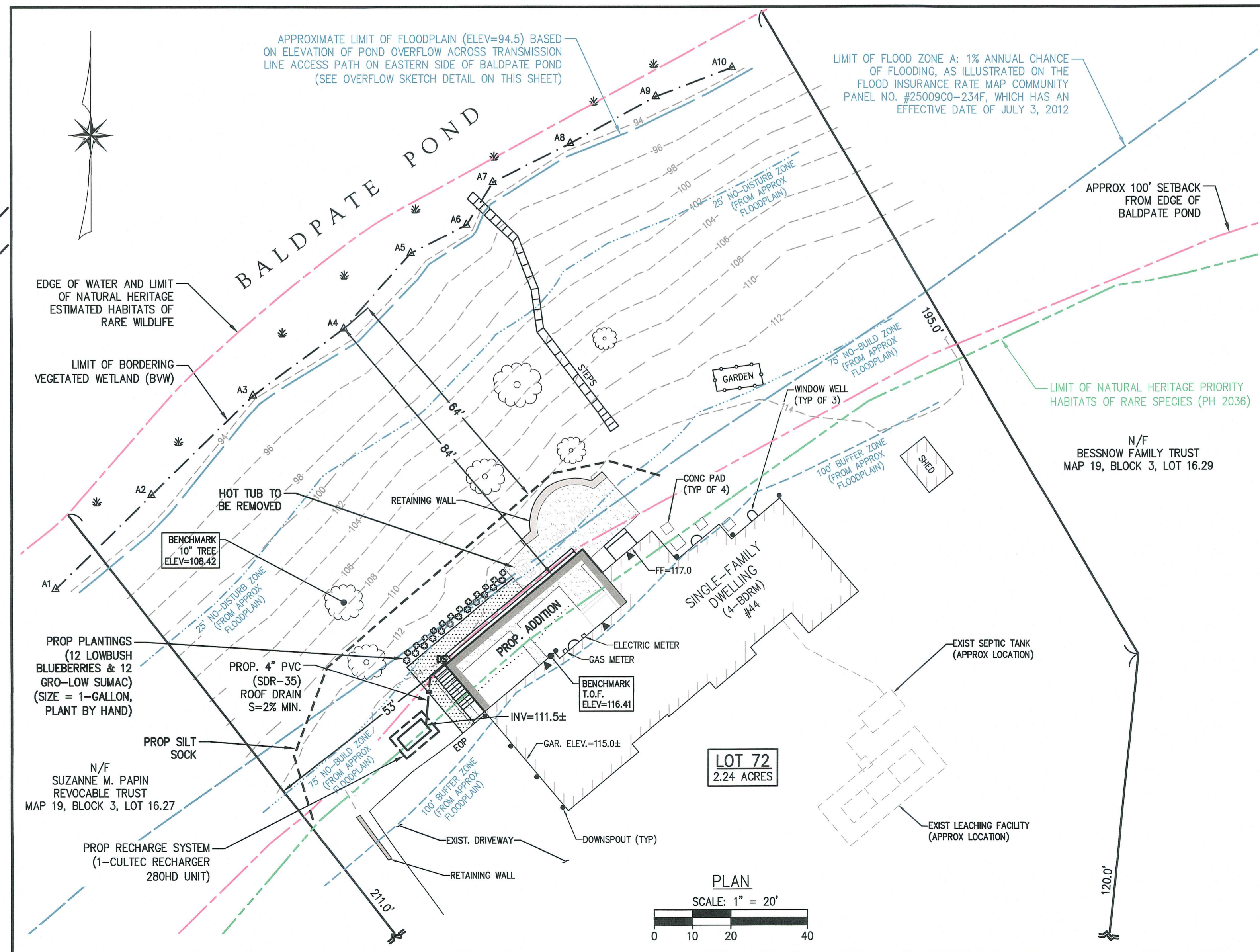
**LOCUS MAP (NOT TO SCALE)**

**BALDPATE POND**



**OVERFLOW SKETCH DETAIL**

SCALE: 1" = 150'  
0 75 150 300



**PLAN**

SCALE: 1" = 20'  
0 10 20 40

**The Morin-Cameron GROUP, INC.**  
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS  
LAND SURVEYORS | LAND USE PLANNERS  
66 EDU STREET, DANVERS, MASSACHUSETTS 01923  
TEL: 978-777-6888, FAX: 978-777-6889

COMMONWEALTH OF MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER  
JOHN M. MORIN  
CIVIL  
No. 38858  
8/30/2022

SURVEY BY: MGS  
DRAFTED BY: DJP  
CHECKED BY: WAS  
APPROVED BY: JMM  
SCALE: AS NOTED  
DATE: JUNE 13, 2022

NO.	DESCRIPTION	DATE
1	ADD PLANTINGS AND RECHARGE SYSTEM TO PLAN	8-30-2022

**SITE DEVELOPMENT PLAN**  
IN  
BOXFORD, MASSACHUSETTS  
44 GREAT POND DRIVE  
(ASSESSOR'S MAP 19, BLOCK 3, LOT 16.28)  
PREPARED FOR:  
**GEOFFREY CHRISTANDAY**

**SDP**  
DRAWING NO.  
**1 OF 1**