

JANUARY 19, 2023

www.bscgroup.com

Boxford Conservation Commission
7A Spofford Road
Boxford, MA 01921

RE: Notice of Intent
Camp Wakanda Site Improvements
Boxford, Massachusetts

Dear Members of the Boxford Conservation Commission:

BSC Group, Inc. ("BSC") is filing this Notice of Intent ("NOI") on behalf of the YMCA ("The Applicant") for activities involving site improvement activities for Camp Wakanda located at 433 Main Street in the Town of Boxford, MA ("The Project"). Site improvements include the upgrade of an existing gravel access road for better access for the daily buses along with improving the site long term erosion control. Additionally, improvements are proposed to the camp areas to improve camper's experiences including a seasonal dock and canoe/kayak launch, beach improvement, pedestrian wooden bridge replacement, gathering area improvements, access improvements, and relocation of the existing volleyball court.

This Notice of Intent is being submitted in accordance with the Massachusetts Wetlands Protection Act (M.G.L. Ch.131, §40) ("WPA"), its implementing regulations (310 CMR 10.00), and the Town of Boxford Wetlands Protection Bylaw (Chapter 192) and Wetlands Protection Regulations (Chapter 375). Additionally, this Project is being proposed as a Limited Project, per 310 CMR 10.53(3)(f) which allows for maintenance and improvement of existing public roadways, 310 CMR 10.53(3)(k) which allows for the routine cleaning of road drainage structures, 310 CMR 10.53(3)(j) which allows for a freshwater stream crossing replacement, and 310 CMR 10.53(3)(l) which allows for the construction, reconstruction, operation, or maintenance of water dependent uses. The location of the proposed activities is shown on the USGS Site Locus Map in Attachment B.

The proposed activities are located within Bordering Vegetated Wetlands (BVW), Inland Bank, Land Under Water Bodies and Waterways ("LUW"), Bordering Land Subject to Flooding ("BLSF"), and the 100-foot Buffer Zones to BVW and Inland Bank. Throughout the Project, Best Management Practices (BMPs), including sediment and erosion controls, will be implemented to ensure adjacent resource areas are adequately protected and impacts to the surrounding areas are reduced. For BMP locations and specifications please see Attachment B. Upon completion of the Project activities, all temporarily disturbed areas will be restored to pre-existing conditions to the maximum extent practicable.

We respectfully request that this matter be heard at the next scheduled Conservation Commission hearing. A copy of this application will be sent concurrently to the Northeastern Regional Office of the Department of Environmental Protection (NERO), via eDEP, and a single copy delivered to their office. Hard copies will be provided to the Conservation Commission. If you have any questions regarding the enclosed information, please contact me at (617)-896-4594 or The YMCA at (617) 927-8016. Thank you for your consideration in this matter.

Sincerely,
BSC Group, Inc.



Matt Burne
Senior Ecologist

cc: YMCA of Greater Boston
DEP NERO

Enclosures:

WPA Form 3, Notice of Intent, NOI Fee Transmittal Form, Copy of Filing Fee Check
Attachment A Narrative
Attachment B Site Plan, USGS Site Location Map
Attachment C Site Photographs
Attachment D Abutters Notification Letter, Certified List of Abutters

YMCA OF GREATER BOSTON

Camp Wakanda Improvements

Boxford, MA

Notice of Intent

Town of Boxford
Conservation Commission
January 2023

Prepared for:

YMCA of Greater Boston
316 Huntington Ave
Boston, MA, 02115

BSC Project No. 89981.00

Table of Contents

Camp Wakanda Improvements
Boxford, MA
Notice of Intent

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ATTACHMENT C	SITE PHOTOGRAPHS
ATTACHMENT D	CERTIFIED LIST OF ABUTTERS



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boxford
City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note: Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>433 Main Street</u>	<u>Boxford</u>	<u>01921</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>18</u>	<u>42.690527</u>	<u>-71.036557</u>
f. Assessors Map/Plat Number	d. Latitude	e. Longitude
	<u>18-01-30</u>	
	g. Parcel /Lot Number	

2. Applicant:

<u>YMCA of Greater Boston</u>	<u></u>	
a. First Name	b. Last Name	
<u>316 Huntington Ave</u>		
c. Organization		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02115</u>
e. City/Town	f. State	g. Zip Code
<u>(617) 927-8016</u>	<u></u>	<u>hrosa@ymcaboston.org</u>
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Street Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Matt</u>	<u>Burne</u>	
a. First Name	b. Last Name	
<u>BSC Group, Inc.</u>		
c. Company		
<u>803 Summer St, Floor 3</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02127</u>
e. City/Town	f. State	g. Zip Code
<u>617-896-4594</u>	<u></u>	<u>mburne@bscgroup.com</u>
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>1970.00</u>	<u>972.50</u>	<u>997.50</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



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A. General Information (continued)

6. General Project Description:

The YMCA is proposing site improvements at Camp Wakanda, including the upgrade of an existing gravel access, relocation of a seasonal dock and canoe/kayak launch, beach improvement, pedestrian wooden bridge replacement, gathering area improvements, access improvements, and relocation of the existing volleyball court.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types) 10.53(3)(f), 10.53(3)(j), 10.53(3)(k), and 10.53(3)(l)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Essex South

a. County

4500

c. Book

b. Certificate # (if registered land)

598

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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Bureau of Resource Protection - Wetlands

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input checked="" type="checkbox"/> Bank	16 1. linear feet	0 2. linear feet
b. <input checked="" type="checkbox"/> Bordering Vegetated Wetland	2,272 1. square feet	4600 2. square feet
c. <input checked="" type="checkbox"/> Land Under Waterbodies and Waterways	1,060 1. square feet 0 3. cubic yards dredged	2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet 3. cubic feet of flood storage lost	2. square feet 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
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5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	_____	_____
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input checked="" type="checkbox"/> Project Involves Stream Crossings		
	0	1
	_____	_____
	a. number of new stream crossings	b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

August 2021
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage

2. Assessor’s Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).
 Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
 Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. _____ a. NHESP Tracking # _____ b. Date submitted to NHESP

3. Separate MESA review completed.
 Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 836 South Rodney French Blvd.
 New Bedford, MA 02744
 Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
 North Shore Office
 Attn: Environmental Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930
 Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC

- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 - 1. Single-family house
 - 2. Emergency road repair
 - 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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City/Town	

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Camp Wakanda Site Improvements Site Plan

a. Plan Title

BSC Group

b. Prepared By

1/6/23

d. Final Revision Date

c. Signed and Stamped by

1'=50'

e. Scale

USGS Site Location Map

f. Additional Plan or Document Title

4/4/2022

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

3216, 3217, 3218

2. Municipal Check Number

1/12/23

3. Check date

eDEP Payment

4. State Check Number

1/19/23

5. Check date

BSC Companies, Inc.

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
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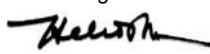
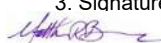
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant	2. Date
	1/18/2023
3. Signature of Property Owner (if different)	4. Date
	1/19/2023
5. Signature of Representative (if any)	6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
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NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

443 Main Street Boxford
 a. Street Address b. City/Town
 eDEP Payment 1/19/23
 c. Check number d. Fee amount

2. Applicant Mailing Address:

 a. First Name b. Last Name
 YMCA of Greater Boston
 c. Organization
 316 Huntington Ave
 d. Mailing Address
 Boston MA 02115
 e. City/Town f. State g. Zip Code
 (617) 927-8016 hrosa@ymcaboston.org
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

 a. First Name b. Last Name

 c. Organization

 d. Mailing Address

 e. City/Town f. State g. Zip Code

 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

Attachment A

Camp Wakanda Improvements
Boxford, MA
Notice of Intent

PROJECT NARRATIVE

1.0 Introduction

BSC Group, Inc. (“BSC”) is filing this Notice of Intent (“NOI”) on behalf of the YMCA (“The Applicant”) for activities involving site improvement activities for Camp Wakanda located at 433 Main Street in the Town of Boxford, MA (“The Project”). Site improvements include the upgrade of an existing gravel access road for better access for the daily buses along with improving the site long term erosion control. Additionally, improvements are proposed to the camp areas to improve camper’s experiences including a seasonal dock and canoe/kayak launch, beach improvement, pedestrian wooden bridge replacement, gathering area improvements, access improvements, and relocation of the existing volleyball court.

This Notice of Intent is being submitted in accordance with the Massachusetts Wetlands Protection Act (M.G.L. Ch.131 §40) (“WPA”), its implementing regulations (310 CMR 10.00), and the Town of Boxford Wetlands Protection Bylaw (Chapter 192) and Wetlands Protection Regulations (Chapter 375). Additionally, this Project is being proposed as a Limited Project, 310 CMR 10.53(3)(k) which allows for the routine cleaning of road drainage structures, 310 CMR 10.53(3)(j) which allows for a construction and maintenance of footbridges, and 310 CMR 10.53(3)(l) which allows for the construction, reconstruction, operation, or maintenance of water dependent uses. The location of the proposed activities is shown on the USGS Site Locus Map in **Attachment B**.

The proposed activities are located within Bordering Vegetated Wetlands (BVW), Inland Bank, Land Under Water Bodies and Waterways (“LUW”), Bordering Land Subject to Flooding (“BLSF”), and the 100-foot Buffer Zones to BVW/Inland Bank. Throughout the Project, Best Management Practices (BMPs), including sediment and erosion controls, will be implemented to ensure adjacent resource areas are adequately protected and impacts to the surrounding areas are reduced. For BMP locations and specifications please see **Attachment B**. Upon completion of the Project activities, all temporarily disturbed areas will be restored to pre-existing conditions to the maximum extent practicable.

The following components detail the proposed Project activities. Please refer to Site Plans (**Attachment B**) for additional details.

2.0 Existing Conditions

The Project site access drive is located at 433 Main Street approximately 0.2 miles south of Ipswich Road. The parcel is accessed through a long access drive that starts at the entrance to the Town of Boxford Witch Hollow Conservation Area travelling approximately 0.5 miles to the camp property with the southern parcel boundary along Stiles Pond. The property itself is owned by the YMCA of Greater Boston, measures 25.87 acres and is used for recreational activities associated with the YMCA Camp Wakanda. The majority of the parcel is comprised of undeveloped woodland and BVW. The parcel abuts residential properties to the north, east and west.

Wetland Resource Areas and Jurisdiction

Site investigations were conducted on March 14 and March 17, 2022 by BSC Wetland Scientists to identify and delineate the boundary existing wetland resource areas within and in the immediate vicinity of the site. Wetland resource areas were delineated in accordance with the methods developed by the Massachusetts Department of Environmental Protection’s (MassDEP) Delineating Bordering Vegetated Wetlands Under the Massachusetts Wetlands Protection Act, dated 1995, as well as definitions set forth in the Wetlands Regulations 310 CMR 10.00 (Wetlands Protection Act Regulations). Existing conditions, wetland resource areas, and buffer zones in relation to the proposed activities are shown in Project Site Plans in **Attachment B**.

The wetland resource areas at the site include the Bank, Land Under Waterbodies and Waterways (LUW), Bordering

Land Subject to Flooding (BLSF), as well as the 25-foot, 50-foot and 100-foot Buffer Zones to BVW/Bank.

Bank

As defined in the WPA regulations 310 CMR 10.54 (2), Bank is a portion of land surface that normally abuts and confines a water body. The upper boundary of Bank is the first observable break in slope. The 25-foot, 50-foot and 100-foot buffer zone extend from the delineated Bank. The bank is well defined along the entire extent within the Project Area. Sections of Bank along the river are densely vegetated and lack hydric vegetation or evidence of inundation.

Bordering Vegetated Wetlands

As defined in the WPA regulations 310 CMR 10.55 (2)(a): Bordering Vegetated Wetlands (BVW) are freshwater wetlands which border on creeks, rivers, streams, ponds and lakes where soils are saturated or inundated as a result of a specific hydrology (M.G.L. c. 131, § 40), which results in the predominance of hydrophytic vegetation. BVW occurs along the length of the access road in six wetland areas. A BVW flanks an intermittent stream that runs through the Camp at the south end of the Site and empties into Stiles Pond.

Land Under Waterbodies and Waterways

As defined in the WPA regulations 310 CMR 10.56 (2)(a): Land under Water Bodies and Waterways (LUW) is the land beneath any creek, river, stream, pond or lake, which may be composed of organic muck or peat, fine sediments, rocks or bedrock; the boundary of which is the mean annual low water level. LUW occurs in Stiles Pond and the intermittent stream on the site.

Bordering Land Subject to Flooding

As defined in the WPA regulations 310 CMR 10.57(2)(a): Bordering Land Subject to Flooding (BLSF) is an area with low, flat topography adjacent to and inundated by flood waters, which extends from the banks of waterways and waterbodies. BLSF is the estimated maximum lateral extent of flood water which will theoretically result from the statistical 100-year frequency storm. According to the FEMA Flood Insurance Rate Maps for Boxford, a small area of the Site along the shore of Stiles Pond occurs within the 100-year floodplain (Zone A).

Buffer Zone

Both 310 CMR 10.00 and the Boxford Wetlands Bylaw establish a 100-foot buffer zone for BVW and Bank; the Boxford wetland protection regulations also establish a 100-foot buffer zone for BLSF. The majority of the access road occurs within buffer zone to BVW, as does much of the camp itself. Within the camp there is also buffer zone for bank and BLSF.

NHESP Mapped Habitat

According to the most-recently published (2021) information using MassGIS data layers, there are no Natural Heritage Endangered Species Program (NHESP) Priority Habitats of Rare Species, Estimated Habitats of Rare Wildlife, potential or certified vernal pools within the vicinity of the proposed Project.

Other Environmental Resources

According to MassGIS data layers and classifications the Project area does not occur within any additional resource areas. Including Area of Critical Environmental Concern (ACEC), EPA impaired waterway, Vernal pools, 21E sites, Chapter 91 regulated lands, tidal shorelands, salt marsh, peatlands or Outstanding Resource Waters, or Coldwater Fishery (CFR).

3.0 Proposed Project

ATTACHMENT A
Detailed Project Narrative

The purpose of the Project involves site improvements to improve site access, reduce existing ongoing erosion issues, and improve the camper’s experience. Site improvements include the upgrade of the existing gravel access road for better access for the daily buses along with improving the site long term erosion control. Additionally, improvements are proposed to the camp areas to improve camper’s experiences including, a seasonal dock and canoe/kayak launch, beach improvements, pedestrian wooden bridge replacement, gathering area improvements, access improvements, and relocation of the existing volleyball court.

The Project involves mitigation measures intended to minimize disturbances to the surrounding environment. Please refer to Project Site Plans (**Attachment B**) for additional details.

Work within Buffer Zone

The majority of the Project site and proposed activities will be located within the 100-foot Buffer Zone to BVW, Bank, and the locally regulated buffer to BLSF. Vegetation will be maintained whenever possible within the Project vicinity, and the area will be stabilized returned to preconstruction conditions to the extent practicable.

Table 1 below provides an overview of impacts with regard to each WPA wetland resource area:

Table 1 – Summary of Wetland Resource Area Impacts

Resource Area	Impact Type	TOTAL
Land Under Water (LUW)	Permanent	1,060 sf – (550 SF for ramp in the river, 510 SF Docks in bank)
Bank	Permanent	16 lf
Bordering Land Subject to Flooding (BLSF)	Flood Storage Lost (cf)	150 CF
	Flood Storage Replaced	125 CF
Bordering Vegetated Wetlands (BVW)	Permanent Permanent Dredge / Fill	2,272 SF

4.0 Stormwater Management

The Project is not technically exempt from the Stormwater Standards, but no increase in impervious surfaces are proposed, and the Project will result in significant improvement of stormwater quality by reducing erosion and sedimentation from the site. The Project will utilize erosion controls and best management practices to reduce impacts from stormwater runoff. For BMP locations and specifications please see **Attachment B**. Stormwater swales, grade dips, water bars, and culverts will be constructed to manage the stormwater runoff from the gravel access road area to reduce erosion.

5.0 Construction Considerations and Sequencing

The existing dirt access road will be stabilized and upgraded with gravel, the cleaning of existing swales and culverts and the construction of some additional swales and culverts.

The construction is generally proposed as outlined below:

- Installation of erosion controls.
- Resurfacing of the roadway and swales.
- Construction of the camp improvements.
- Site restoration including stabilization and seeding.
- Remove erosion and sedimentation controls.

6.0 Mitigation Measures

Erosion and Sedimentation Controls

Siltation barriers composed of haybales, silt fence, or compost filter tubes will be installed at the downgradient limits of work. Sedimentation barriers will be checked on a weekly basis and following significant storm events. Sediment controls will remain in-place during all phases of the Project and will be removed once the area is sufficiently stabilized. Please refer to **Attachment B** (Site Plans) for erosion and sedimentation control details and the proposed locations of controls.

Construction Stockpiling Locations

In the event stockpiled materials must be left on site overnight, the piles will be covered with tarps and surrounded by erosion control measures (e.g. compost filter tubes). Stockpiled wetland soil material will be stored at a location determined by the Contractor until needed for use on-site. Staging and storage areas will be outside of all jurisdictional environmental resource areas where feasible and practicable.

Bordering Land Subject to Flooding

The Project will result in the insignificant filling of the 100-Flood zone of Stiles Pond for the beach restoration (previously approved by an Order of Conditions, DEP File No 114-59 and kayak/canoe access/dock improvements.

7.0 Regulatory Compliance

The Project has been designed to comply with the General Performance Standards listed in 310 CMR 10.00 to the maximum extent practicable. As previously stated, portions of the Project qualify as a Limited Project. Table 1 provides an analysis of proposed wetland resource area impacts. The proposed Project includes measures to maximize compliance with the applicable performance standards with the WPA and the Town of Boxford Wetlands Protection Bylaw for each jurisdictional wetland resource.

According to the Wetlands Protection Act and the Town of Boxford Wetland Protection Bylaw, wetland resource areas are presumed significant in varying capacities to flood control, storm damage prevention, prevention of pollution, wildlife habitat, fisheries habitat, protection of public water supply, and protection of groundwater supply. The following section describes how the Project will minimize and mitigate wetland resource area impacts to the maximum extent practicable by complying with the general performance standards established for each area.

8.0 Summary

The Applicant, the YMCA of Boxford, has filed this Notice of Intent under the Massachusetts Wetlands Protection Act and the Town of Boxford Wetlands Protection Bylaw and Wetlands Protection-Regulations for the improvements to the existing access road and camp. The information contained in this Notice of Intent application

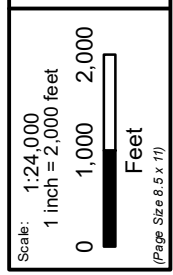
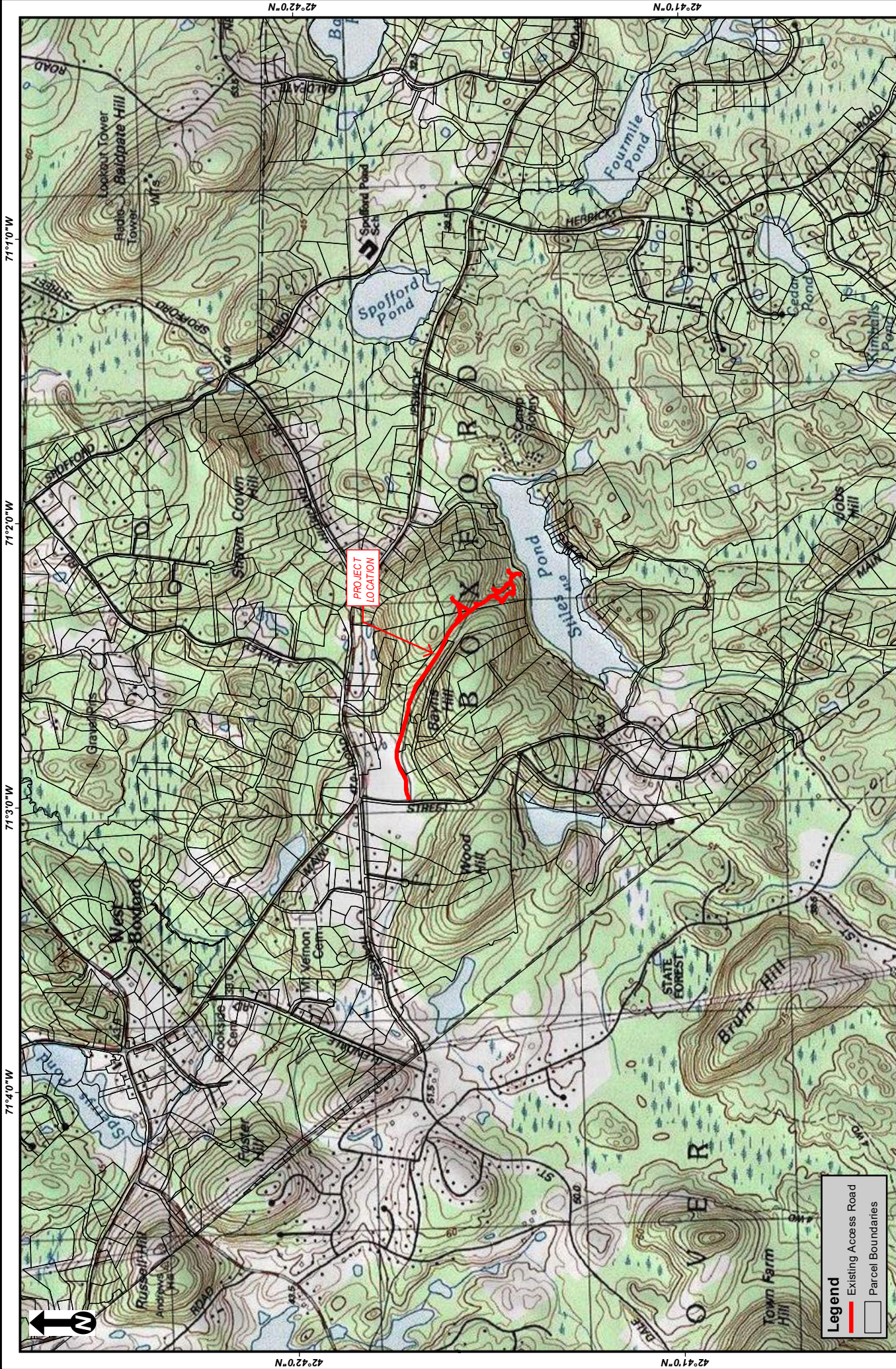
ATTACHMENT A
Detailed Project Narrative

sufficiently describes the site, proposed work, and the effect of said work on the interests identified in the Wetlands Protection Act and Wetlands Protection Regulations. Further, as a limited Project and a Project proposed in the public interest, the proposed activities are eligible for permitting under the Wetlands Protection Act. The design approach taken was to first avoid wetland resources impacts where feasible, and where unavoidable, to minimize the impacts to the extent practicable and mitigate where applicable, and provide the camp with safe and accessible access to Stiles Pond. The application further demonstrates that the Project can be constructed in accordance with the applicable general performance standards for the affected resource areas, or as a limited Project where applicable. The Applicant therefore respectfully requests that the Boxford Conservation Commission issue an Order of Conditions with appropriate conditions for work to proceed as described in this narrative and as shown on the Project plans.

Attachment B

Camp Wakanda Improvements
Boxford, MA
Notice of Intent

SITE PLANS



CAMP WAKANDA IMPROVEMENTS
USGS Site Location Map
Buxford, MA

Source: Copyright ©
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CAMP WAKANDA SITE IMPROVEMENTS

YMCA OF GREATER BOSTON
 443 MAIN STREET
 BOXFORD, MASSACHUSETTS
 JANUARY 6, 2023

INDEX OF DRAWINGS

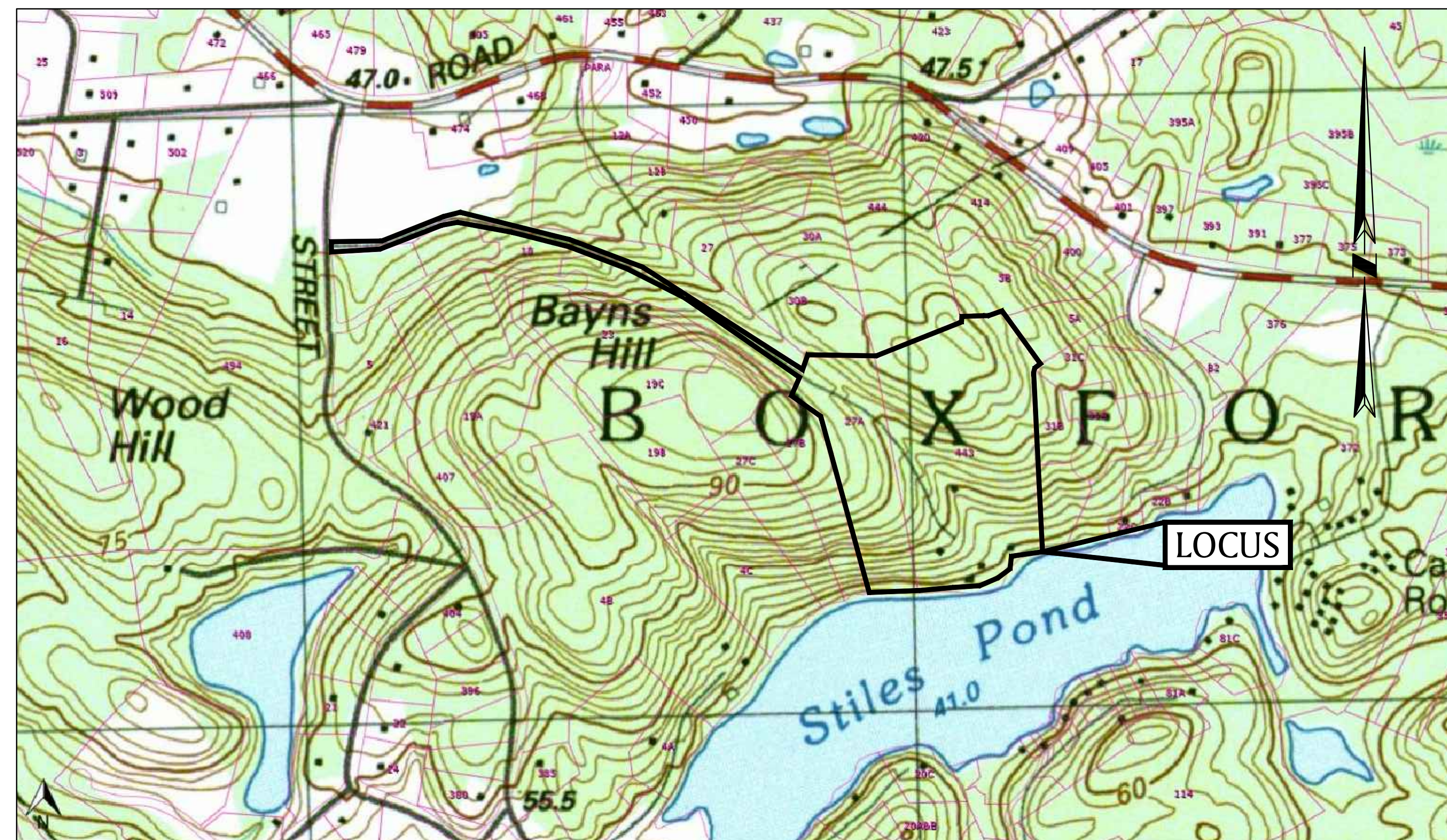
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V-100-101	ACCESS ROAD EXISTING CONDITIONS PLAN
V-102	MAIN CAMP EXISTING CONDITIONS PLAN
C-100	NOTES & SITE PLAN KEY SHEET
C-101-106	SITE PLAN
C-200-201	DETAILS

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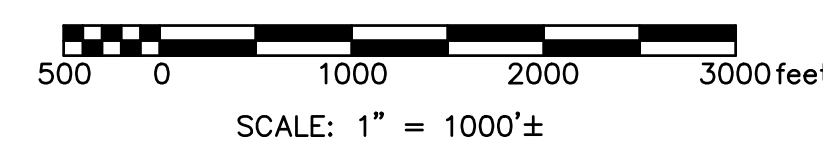


YMCA OF GREATER BOSTON
 316 HUNTINGTON AVENUE
 BOSTON, MA 02115
 XXX-XXX-XXXX

PREPARED BY:



LOCUS MAP



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PROFESSIONAL ENGINEER DATE

CAMP WAKANDA
SITE IMPROVEMENTS

433 MAIN STREET
IN
BOXFORD,
MA
(ESSEX COUNTY)

ACCESS ROAD
EXISTING CONDITIONS
PLAN I

JANUARY 6, 2023

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YMCA OF GREATER BOSTON
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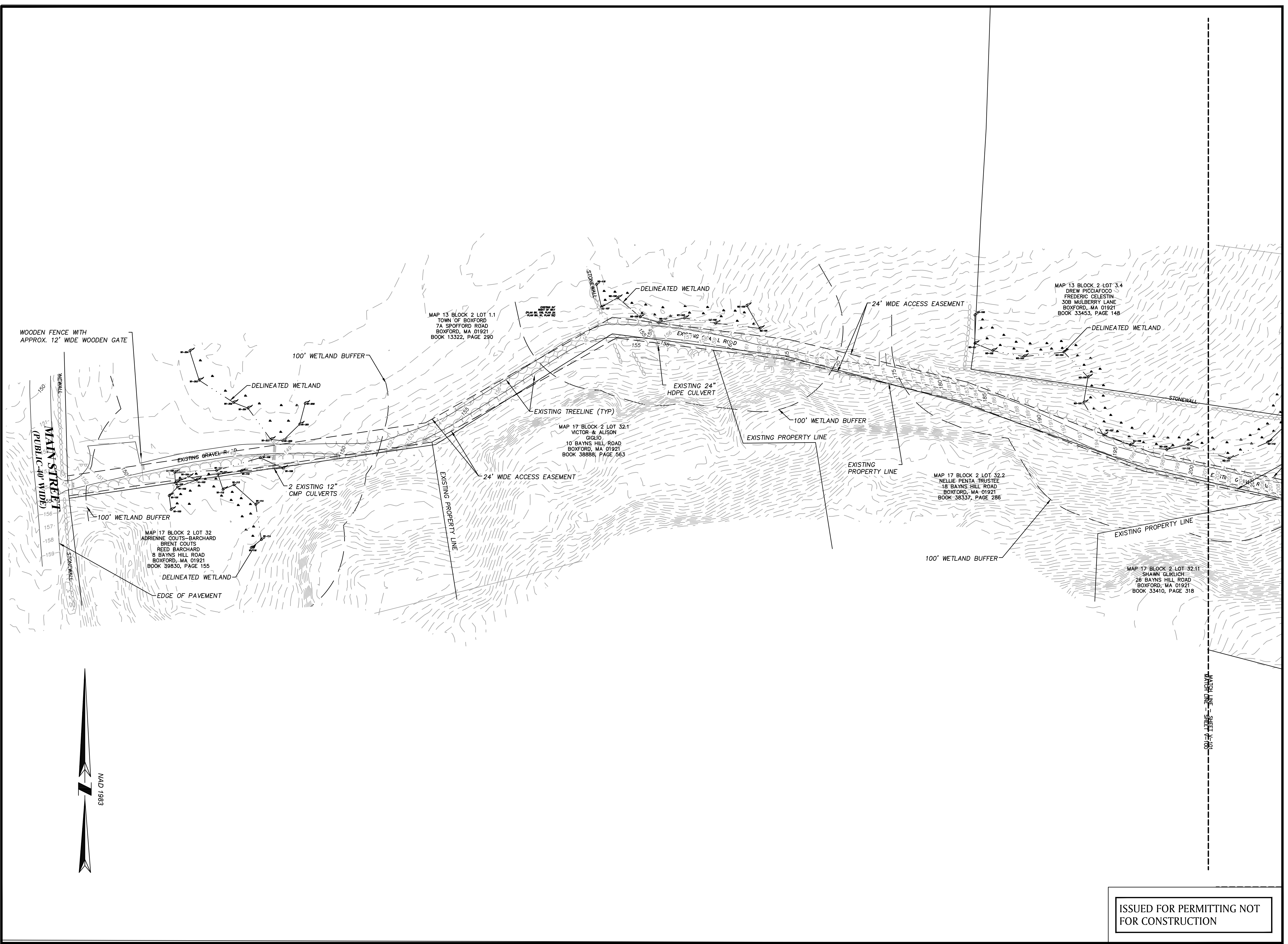
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**CAMP WAKANDA
SITE IMPROVEMENTS**

433 MAIN STREET
IN
BOXFORD,
MA
(ESSEX COUNTY)
ACCESS ROAD
EXISTING CONDITIONS
PLAN II
JANUARY 6, 2023

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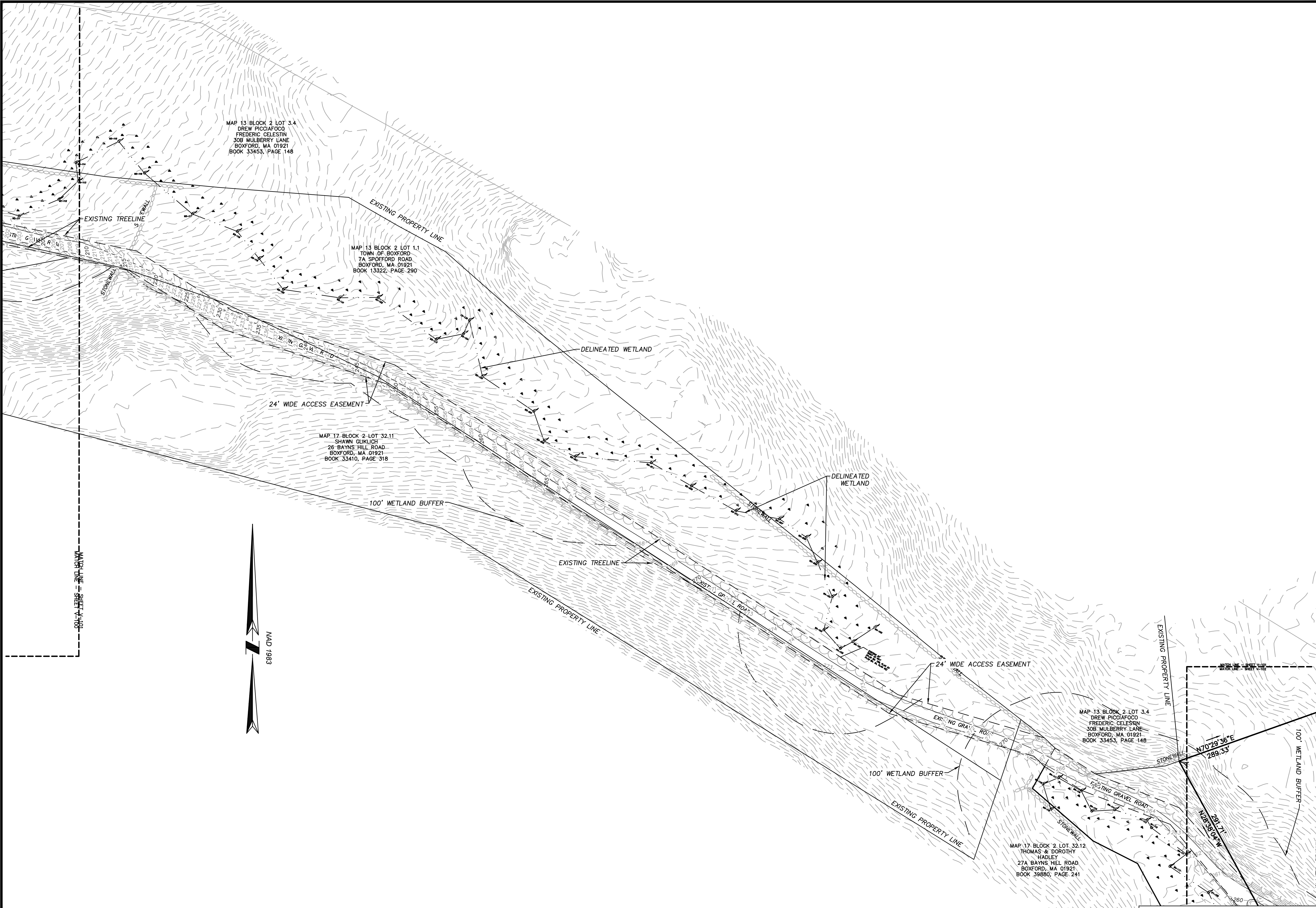
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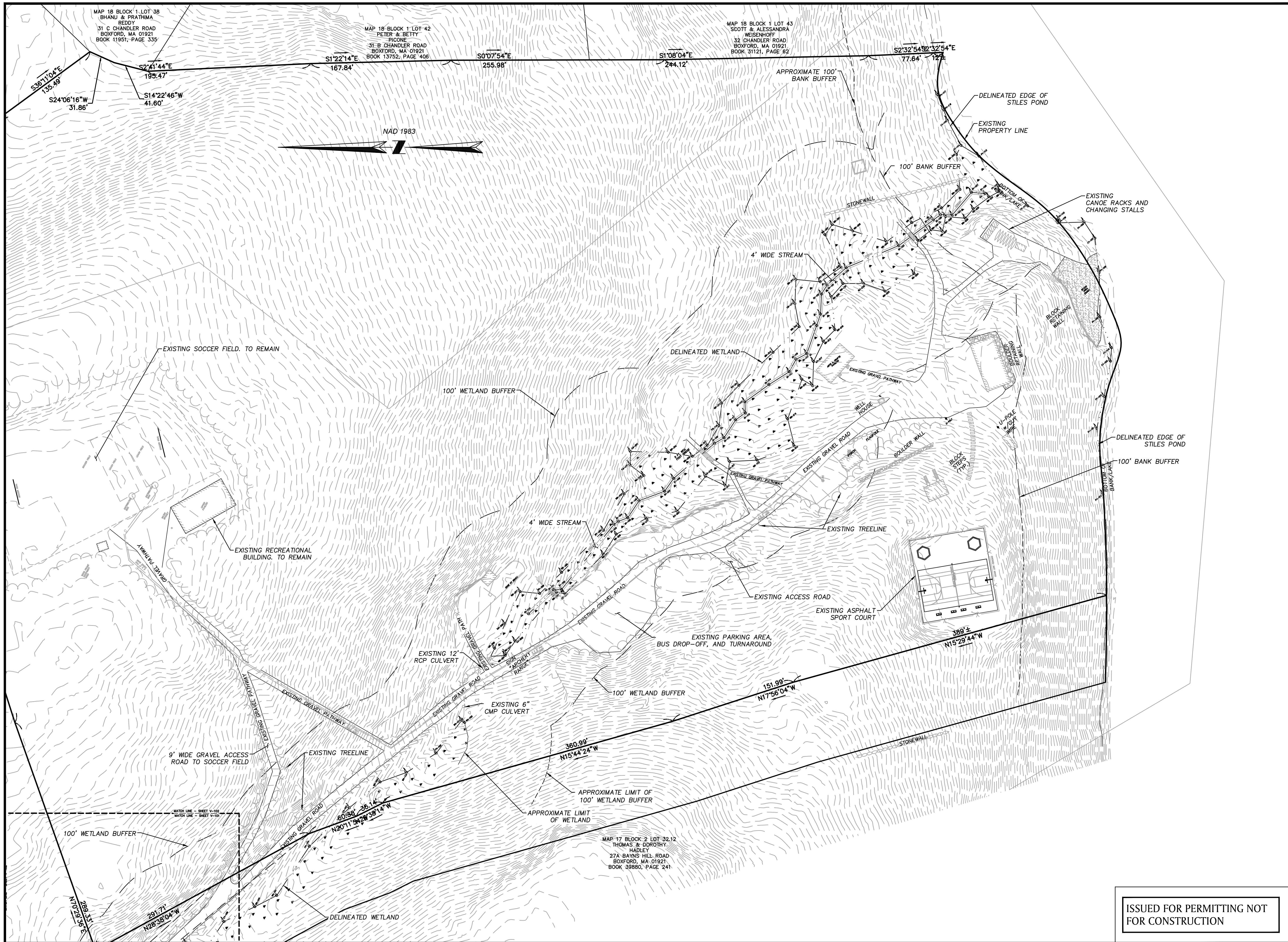
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**CAMP WAKANDA
SITE IMPROVEMENTS**

433 MAIN STREET
IN
BOXFORD,
MA
(ESSEX COUNTY)

**MAIN CAMP EXISTING
CONDITIONS PLAN**

JANUARY 6, 2023

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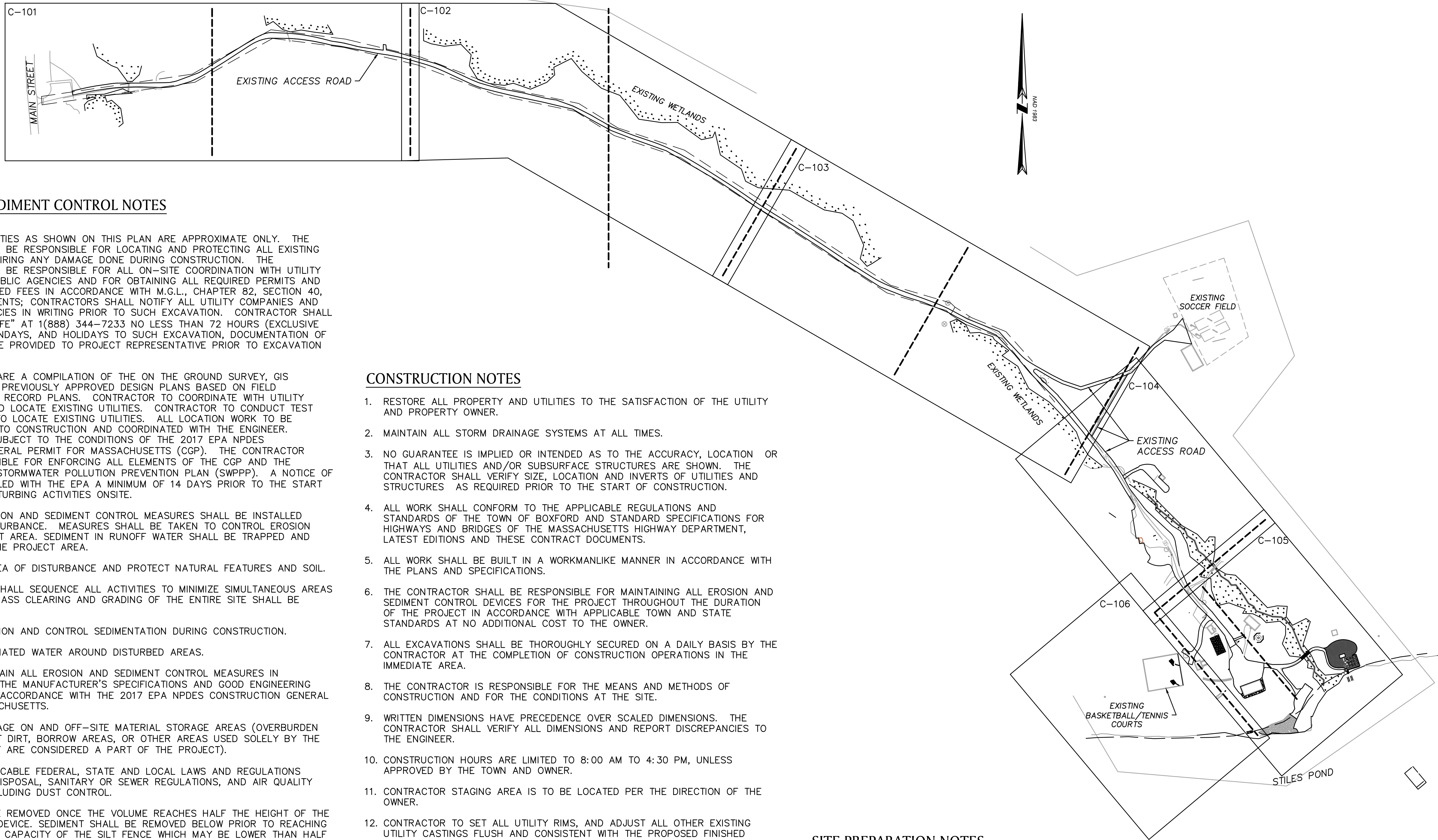
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DWG: SP SHEET V-102
JOB. NO: 8-9981.00

**ISSUED FOR PERMITTING NOT
FOR CONSTRUCTION**



EROSION AND SEDIMENT CONTROL NOTES

1. LOCATIONS OF UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES IN ACCORDANCE WITH M.G.L., CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS; CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO SUCH EXCAVATION. CONTRACTOR SHALL ALSO CALL "DIG SAFE" AT 1(888) 344-7233 NO LESS THAN 72 HOURS (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS TO SUCH EXCAVATION, DOCUMENTATION OF REQUESTS SHALL BE PROVIDED TO PROJECT REPRESENTATIVE PRIOR TO EXCAVATION WORK.
2. EXISTING UTILITIES ARE A COMPILATION OF THE ON THE GROUND SURVEY, GIS INFORMATION FROM PREVIOUSLY APPROVED DESIGN PLANS BASED ON FIELD OBSERVATIONS AND RECORD PLANS. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES TO FIELD LOCATE EXISTING UTILITIES. CONTRACTOR TO CONDUCT TEST PITS, AS NEEDED, TO LOCATE EXISTING UTILITIES. ALL LOCATION WORK TO BE CONDUCTED PRIOR TO CONSTRUCTION AND COORDINATED WITH THE ENGINEER.
3. THIS PROJECT IS SUBJECT TO THE CONDITIONS OF THE 2017 EPA NPDES CONSTRUCTION GENERAL PERMIT FOR MASSACHUSETTS (CGP). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENFORCING ALL ELEMENTS OF THE CGP AND THE PROJECT SPECIFIC STORMWATER POLLUTION PREVENTION PLAN (SWPPP). A NOTICE OF INTENT MUST BE FILED WITH THE EPA A MINIMUM OF 14 DAYS PRIOR TO THE START OF AND EARTH DISTURBING ACTIVITIES ONSITE.
4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA.
5. MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
6. THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE. MASS CLEARING AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
7. MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
8. DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
9. INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES AND IN ACCORDANCE WITH THE 2017 EPA NPDES CONSTRUCTION GENERAL PERMIT FOR MASSACHUSETTS.
10. PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (OVERBURDEN AND STOCKPILES OF DIRT, BORROW AREAS, OR OTHER AREAS USED SOLELY BY THE PERMITTED PROJECT ARE CONSIDERED A PART OF THE PROJECT).
11. COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY OR SEWER REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
12. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES HALF THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED BELOW PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN HALF THE HEIGHT.
13. SOIL STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2H:IV. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
14. A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL CONSTRUCTION ENTRANCE/EXIT POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
15. TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
16. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
17. DUST SHALL BE CONTROLLED AT THE SITE.
18. ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED, THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.

CONSTRUCTION NOTES

1. RESTORE ALL PROPERTY AND UTILITIES TO THE SATISFACTION OF THE UTILITY AND PROPERTY OWNER.
2. MAINTAIN ALL STORM DRAINAGE SYSTEMS AT ALL TIMES.
3. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF BOXFORD AND STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES OF THE MASSACHUSETTS HIGHWAY DEPARTMENT, LATEST EDITIONS AND THESE CONTRACT DOCUMENTS.
5. ALL WORK SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES FOR THE PROJECT THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE TOWN AND STATE STANDARDS AT NO ADDITIONAL COST TO THE OWNER.
7. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE.
9. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
10. CONSTRUCTION HOURS ARE LIMITED TO 8:00 AM TO 4:30 PM, UNLESS APPROVED BY THE TOWN AND OWNER.
11. CONTRACTOR STAGING AREA IS TO BE LOCATED PER THE DIRECTION OF THE OWNER.
12. CONTRACTOR TO SET ALL UTILITY RIMS, AND ADJUST ALL OTHER EXISTING UTILITY CASTINGS FLUSH AND CONSISTENT WITH THE PROPOSED FINISHED GRADES.
13. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE ENGINEER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION NOT COVERED WITH BUILDINGS, STRUCTURES, OR PAVEMENTS SHALL RECEIVE THREE INCHES OF MULCH/WOOD CHIPS, UNLESS DIRECTED OTHERWISE BY THE ENGINEER OR LANDSCAPE ARCHITECT. LIMITS OF WORK SHOWN ARE APPROXIMATE.
15. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA REGULATIONS AND LOCAL & STATE REQUIREMENTS.
16. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS, THIS INCLUDES GRADING, DRIVEWAYS, PATHWAYS, DRAINAGE SYSTEMS AND ALL OTHER WORK.
17. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE ISSUED ORDER OF CONDITIONS FROM THE BOXFORD CONSERVATION COMMISSION.

SITE PREPARATION NOTES:

1. AREAS OUTSIDE THE LIMIT OF WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE ENGINEER. ALL AREAS DISTURBED DURING CONSTRUCTION NOT COVERED WITH BUILDINGS, STRUCTURES, OR PAVEMENTS SHALL RECEIVE THREE INCHES OF MULCH/WOOD CHIP, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
2. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATIONS AND MAINTAIN ALL EROSION CONTROL MEASURES AND EMBANKMENTS DURING CONSTRUCTION. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH WITH EPA'S NPDES PERMITTING FOR CONSTRUCTION ACTIVITIES, AS WELL AS THE ORDER OF CONDITIONS ISSUED BY THE BOXFORD CONSERVATION COMMISSION.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA REGULATIONS AND LOCAL & STATE REQUIREMENTS.
4. ALL MATERIALS ARE TO BE DISPOSED OF PER APPLICABLE LAWS AND REGULATIONS.
5. ALL EXISTING UTILITIES SHALL BE PROTECTED.

ISSUED FOR PERMITTING NOT FOR CONSTRUCTION

DRAFT

PROFESSIONAL ENGINEER DATE

CAMP WAKANDA SITE IMPROVEMENTS

433 MAIN STREET
IN
BOXFORD, MA
(ESSEX COUNTY)

NOTES & SITE KEY SHEET

JANUARY 6, 2023

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:

YMCA OF GREATER BOSTON
316 HUNTINGTON AVENUE
BOSTON, MA, 02115



300 Brickstone Square, Suite 203
Andover, Massachusetts
01810

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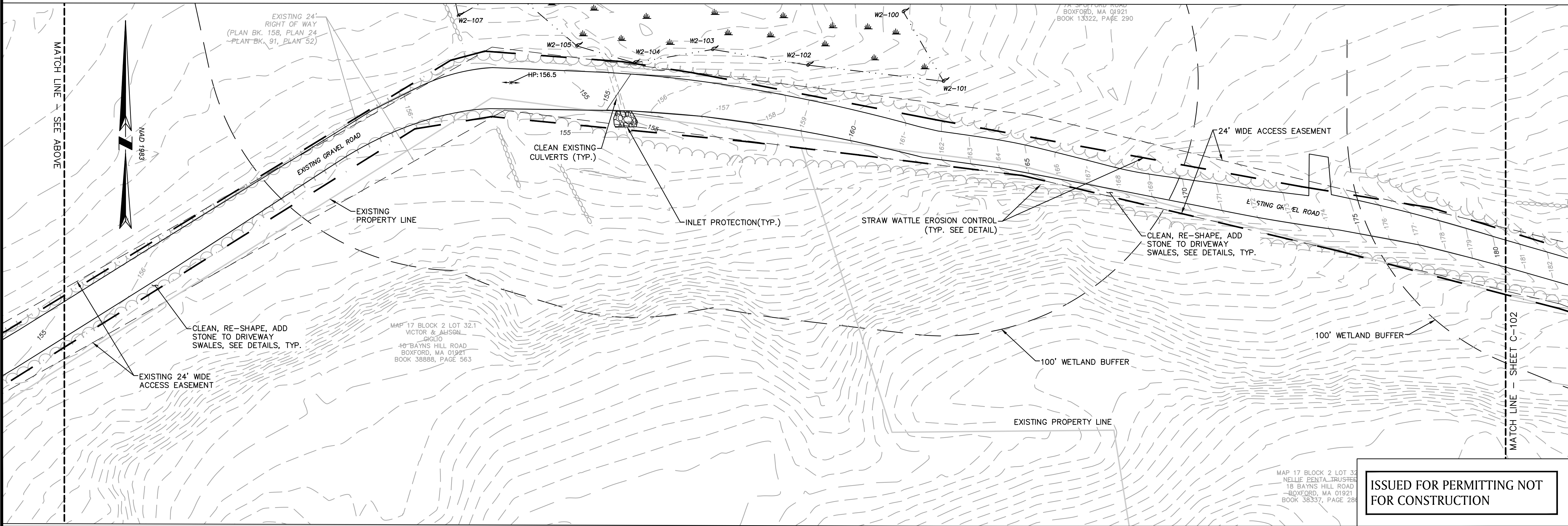
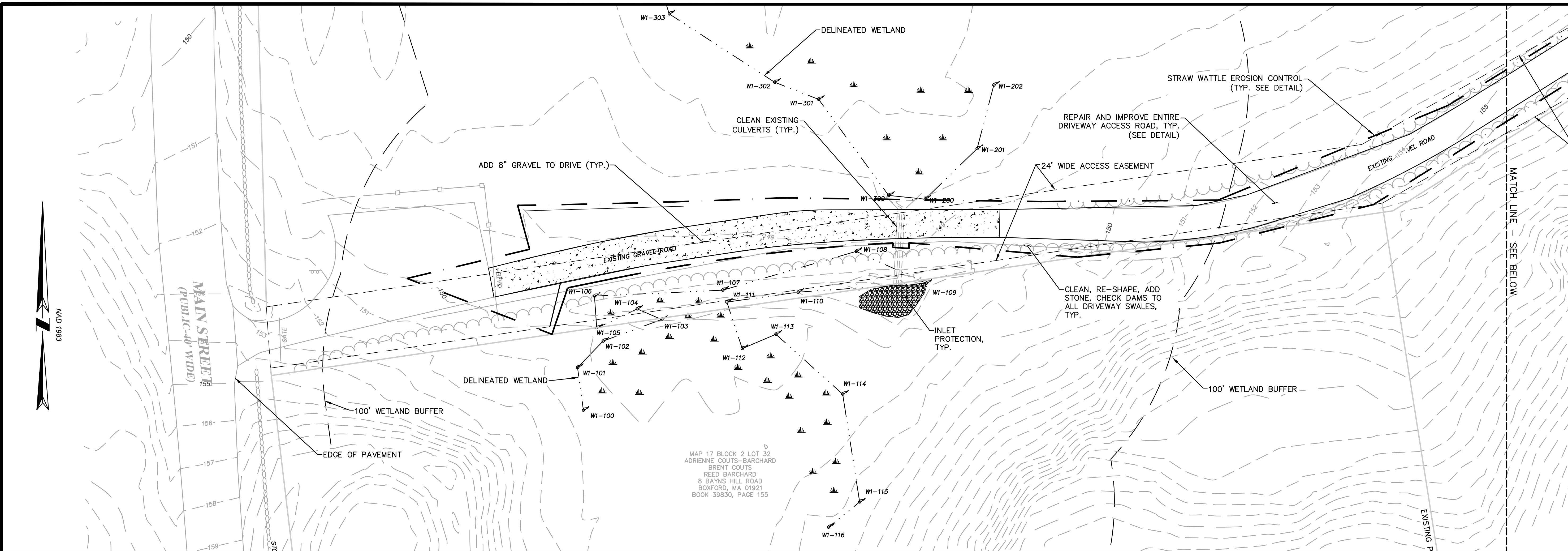
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JOB. NO: 8-9981.00



DRAFT

PROFESSIONAL ENGINEER DATE

**CAMP WAKANDA
SITE IMPROVEMENTS**

433 MAIN STREET
IN
BOXFORD,
MA
(ESSEX COUNTY)

SITE PLAN

JANUARY 6, 2023

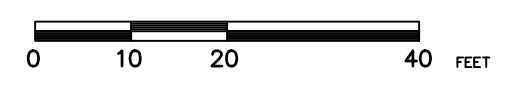
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YMCA OF GREATER BOSTON
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BOSTON, MA, 02115

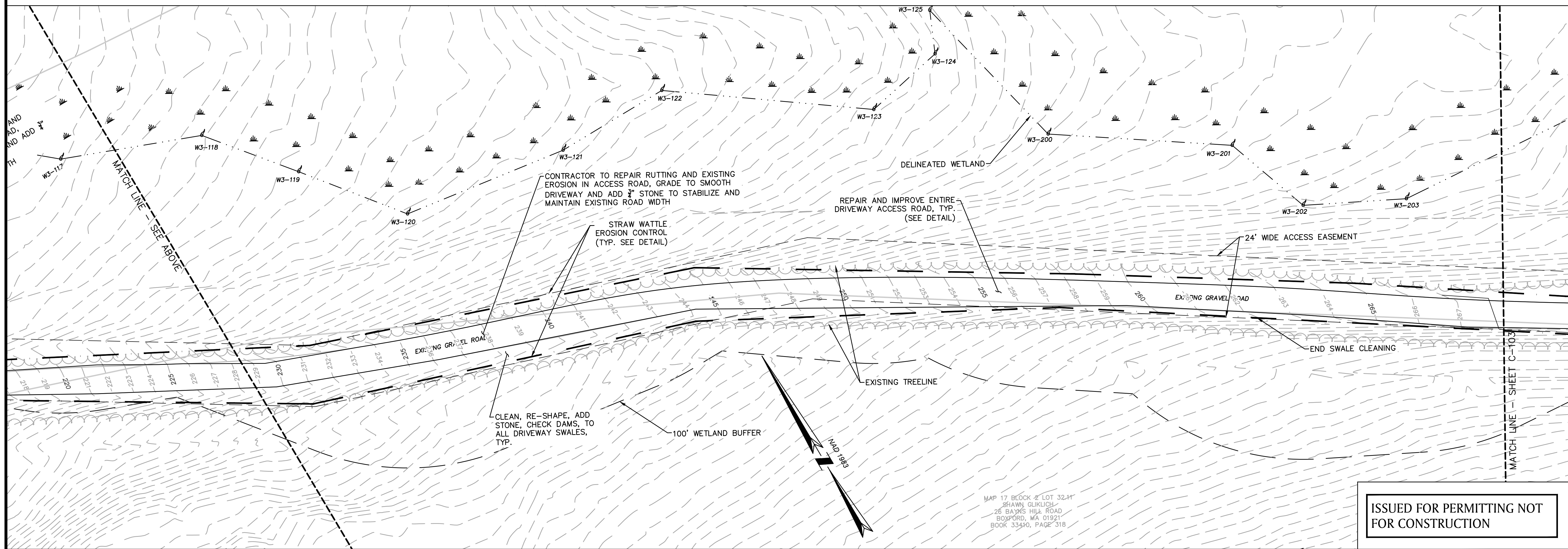
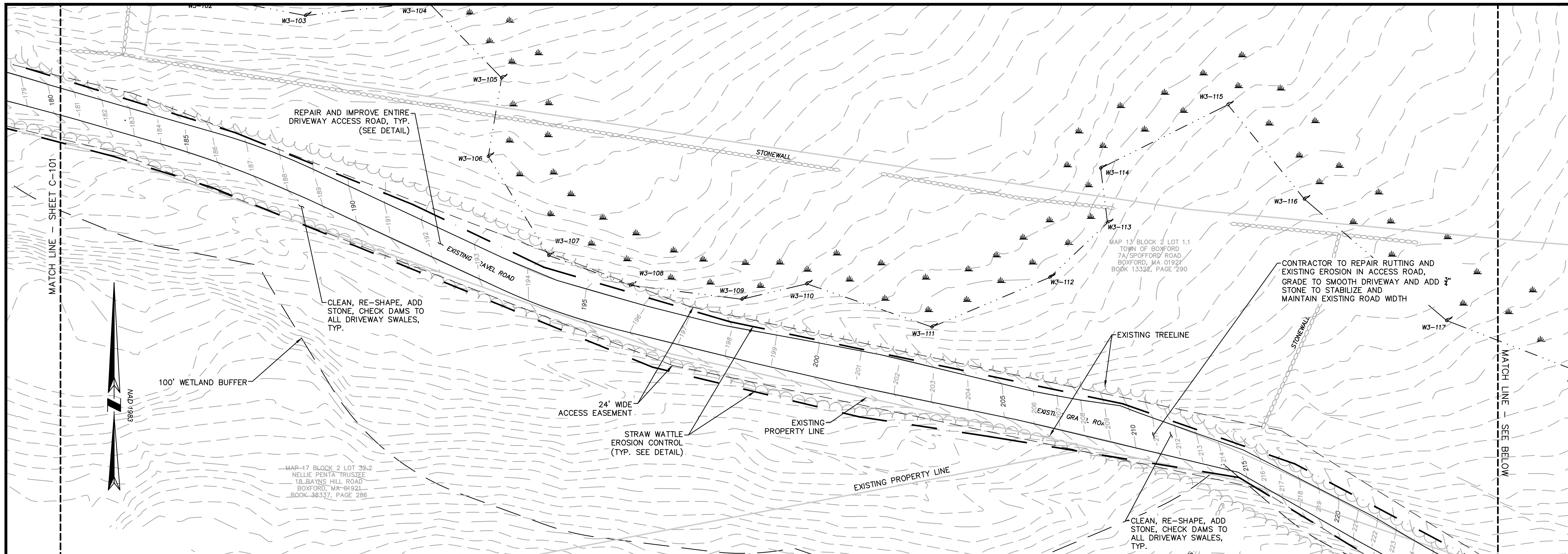
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SCALE: 1" = 20'



FILE: Projects\AND\8998100\C\DWG\DWG:SP
JOB. NO: 8-9981.00 SHEET C-101

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PROFESSIONAL ENGINEER _____ DATE _____

**CAMP WAKANDA
SITE IMPROVEMENTS**

433 MAIN STREET
IN
BOXFORD,
MA
(ESSEX COUNTY)

SITE PLAN

JANUARY 6, 2023

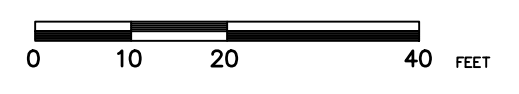
REVISIONS:

NO.	DATE	DESC.

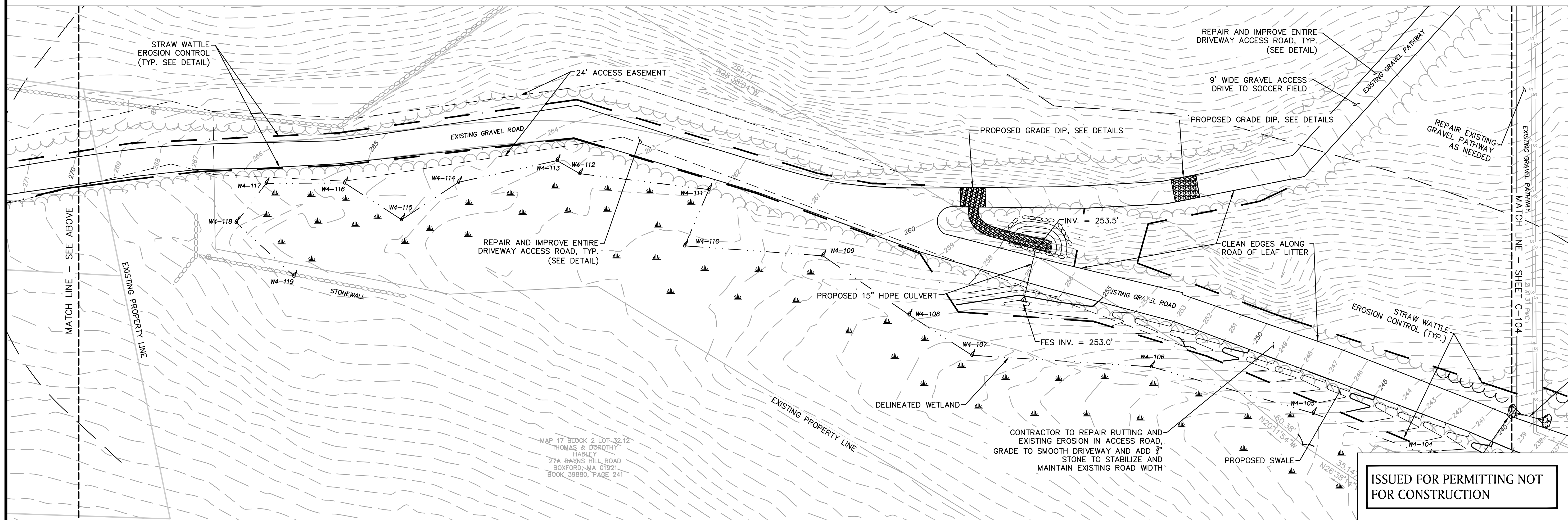
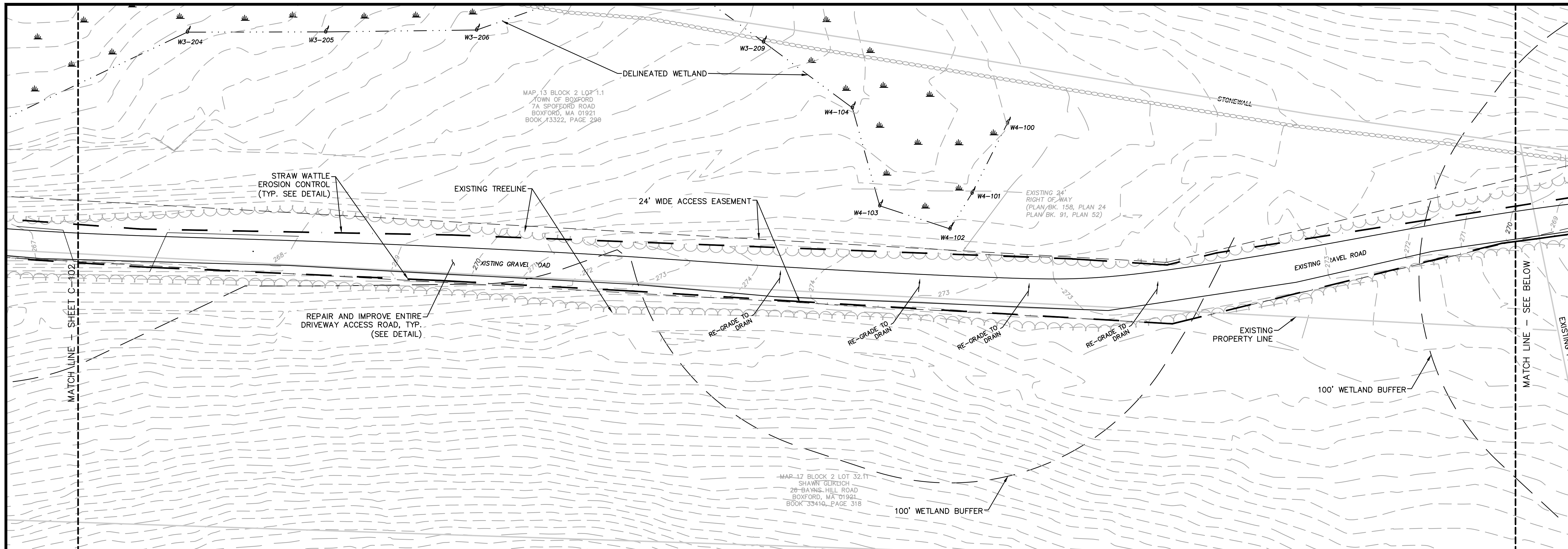
PREPARED FOR:
YMCA OF GREATER BOSTON
316 HUNTINGTON AVENUE
BOSTON, MA, 02115

BSC GROUP
300 Brickstone Square, Suite 203
Andover, Massachusetts
01810
617 896 4300

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SCALE: 1" = 20'



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**CAMP WAKANDA
SITE IMPROVEMENTS**

433 MAIN STREET
IN
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SITE PLAN

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SCALE: 1" = 20'
0 10 20 40 FEET

FILE: Projects\AND\8998100\C\DWG\DWG:SP
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CAMP WAKANDA
SITE IMPROVEMENTS

433 MAIN STREET
IN
BOXFORD,
MA
(ESSEX COUNTY)

SITE PLAN

JANUARY 6, 2023

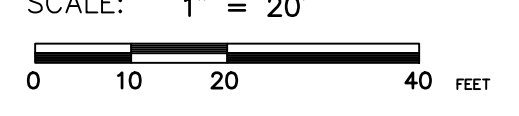
REVISIONS:

NO.	DATE	DESC.

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BOSTON, MA, 02115

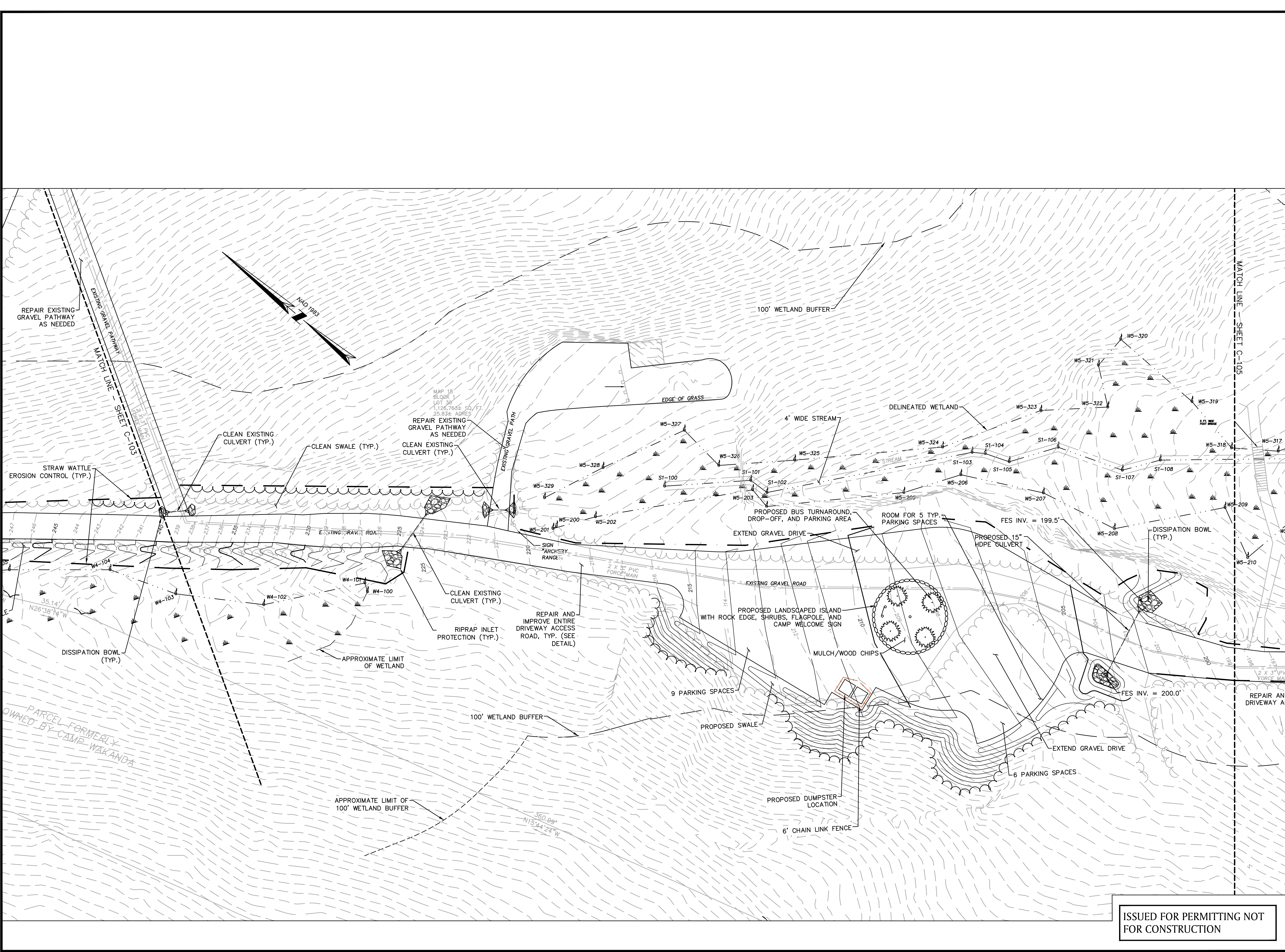
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JOB. NO: 8-9981.00
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**CAMP WAKANDA
SITE IMPROVEMENTS**

433 MAIN STREET
IN
BOXFORD,
MA
(ESSEX COUNTY)

SITE PLAN

JANUARY 6, 2023

REVISIONS:

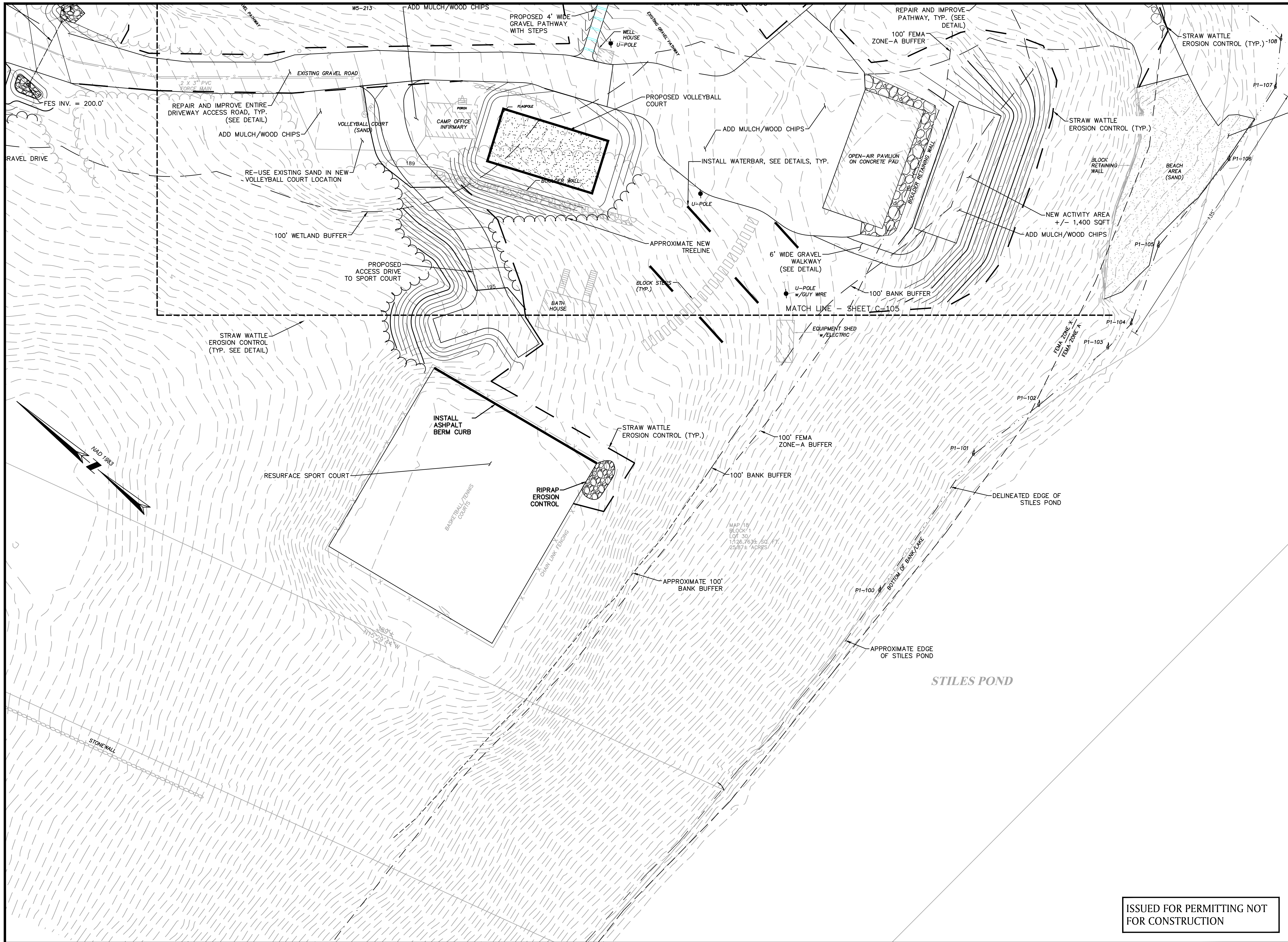
NO.	DATE	DESC.

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SCALE: 1" = 20'
0 10 20 40 FEET

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**CAMP WAKANDA
SITE IMPROVEMENTS**

433 MAIN STREET
IN
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MA
(ESSEX COUNTY)

SITE PLAN

JANUARY 6, 2023

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NO.	DATE	DESC.

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BOSTON, MA, 02115

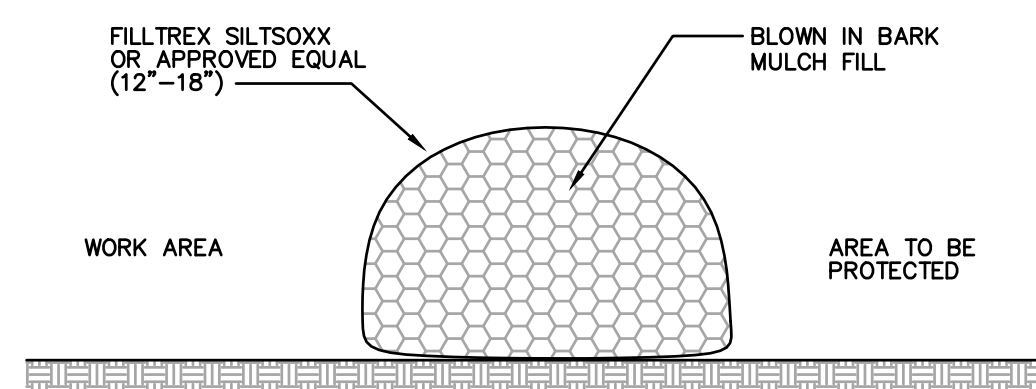
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0 10 20 40 FEET

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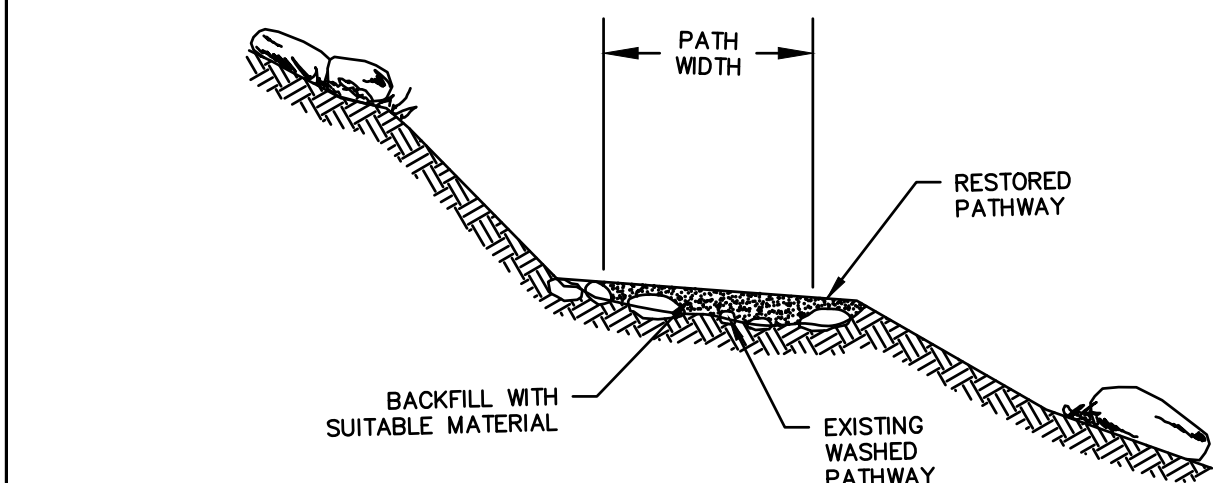
FILE: Projects\AND\8998100\C\D\SP
DWG.: SP
JOB. NO: 8-9981.00
SHEET **C-106**



- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 2. SILT/SOXX COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 3. SILT/SOXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
 4. COMPOST MATERIAL TO BE DISPURSED ON SITE, AS DETERMINED BY THE ENGINEER.

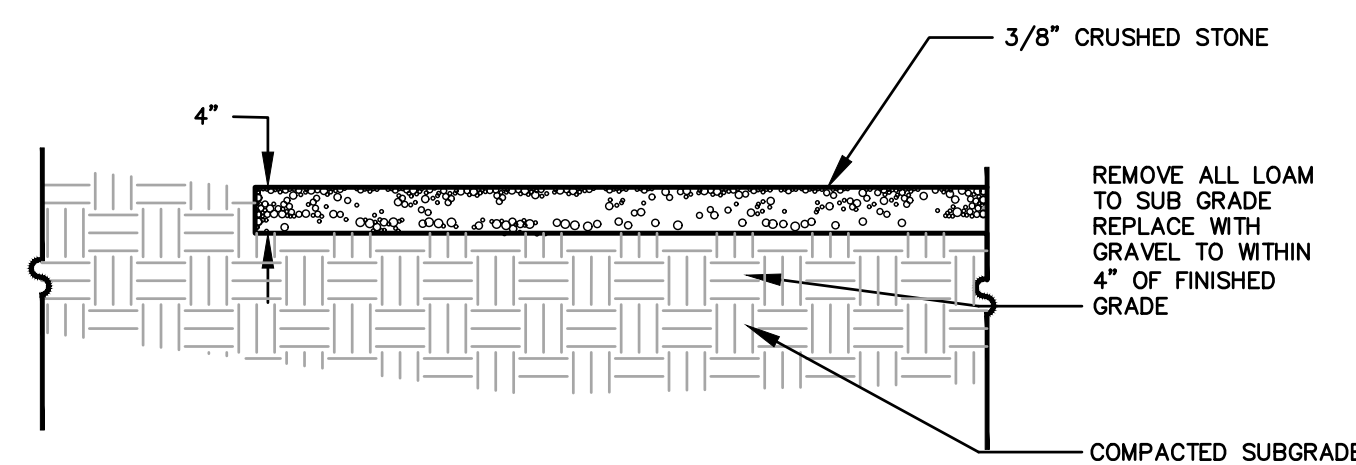
COMPOST FILTER SOCK

SCALE: NONE



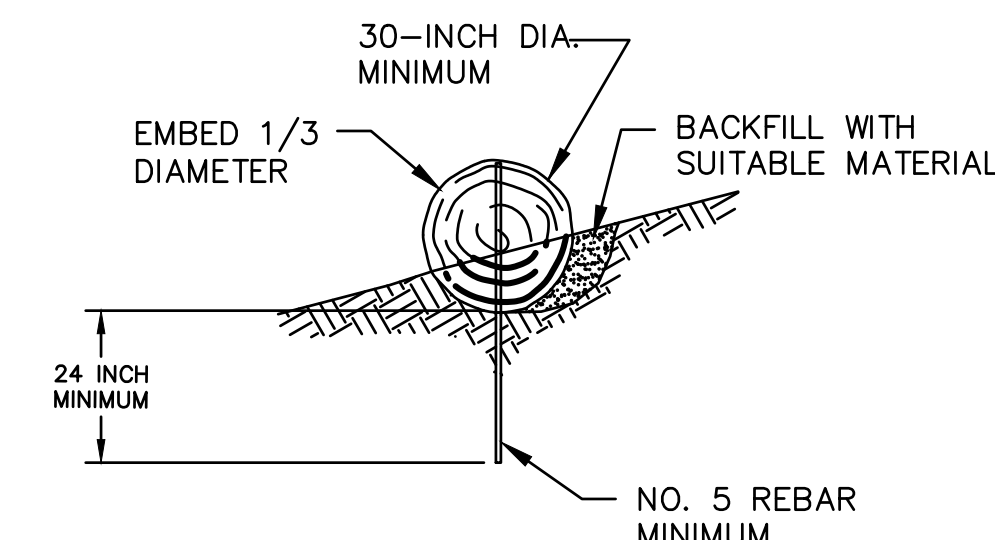
PATHWAY REPAIR

SCALE: NONE



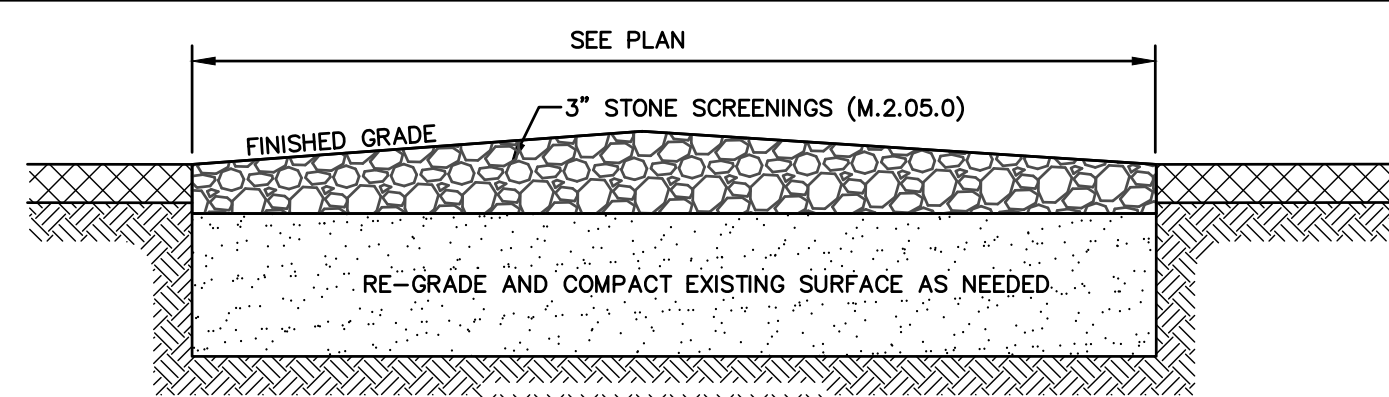
NEW PATHWAY

SCALE: NONE



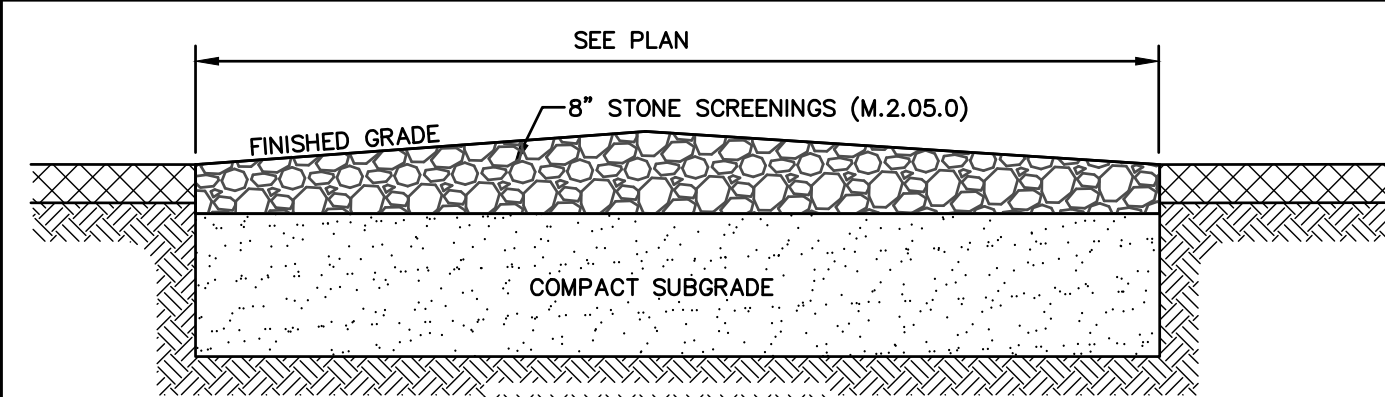
TYPICAL LOG BENCH SEATING

SCALE: NONE



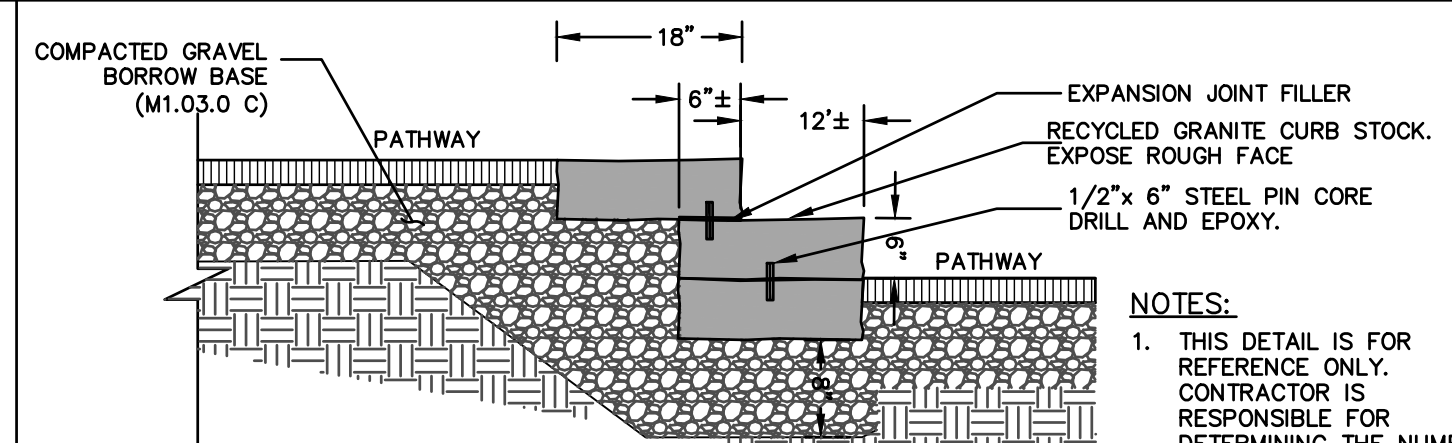
GRAVEL ACCESS DRIVEWAY REPAIR

SCALE: NONE



NEW GRAVEL ACCESS DRIVEWAY

SCALE: NONE

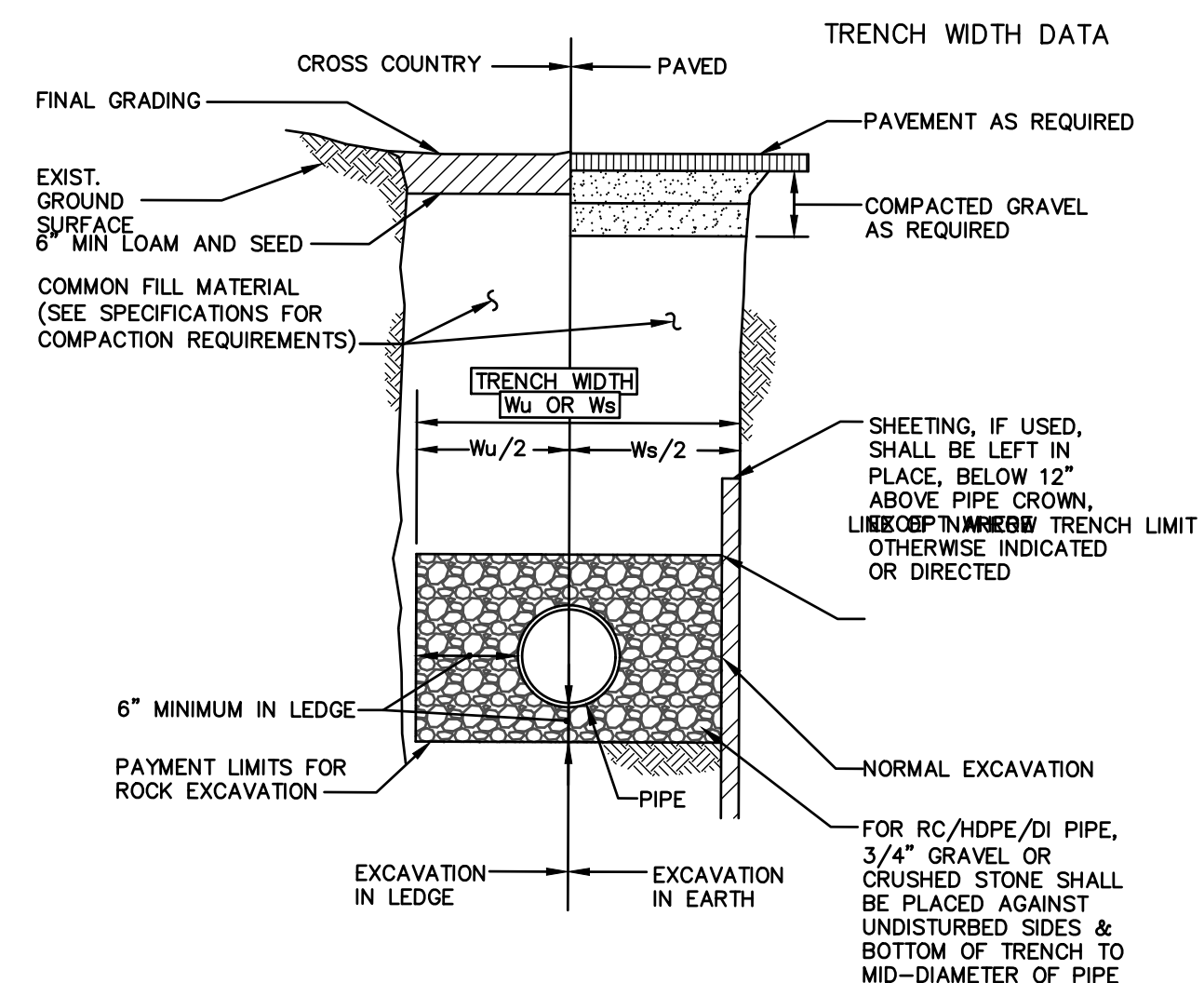


STONE STEPS

SCALE: NONE

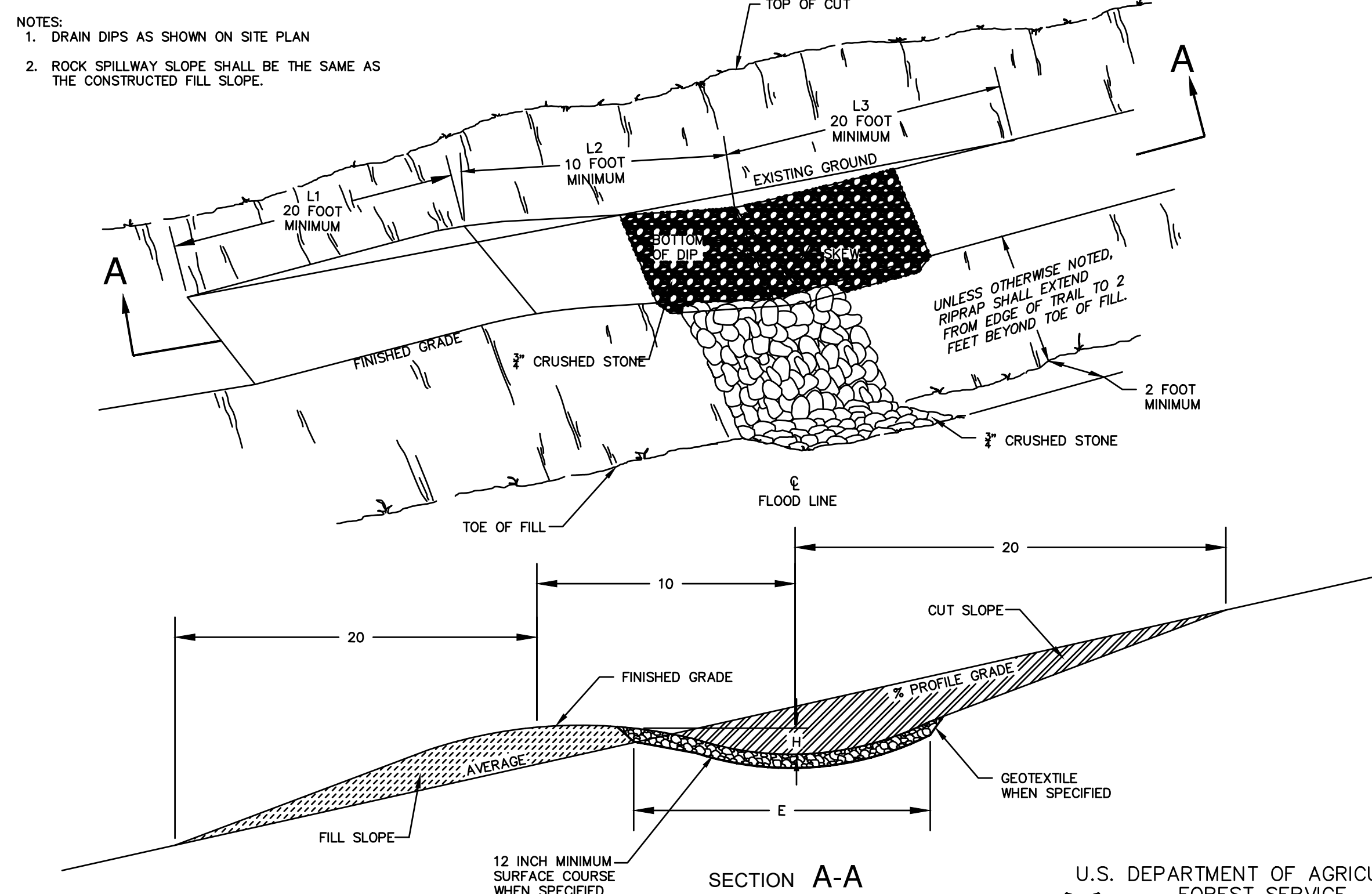
- NOTES:**
1. THIS DETAIL IS FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE NUMBER OF 6"-7" RISERS AND 12" MIN. WIDTH TREADS. SUBMIT SHOP DRAWINGS FOR APPROVAL.

TRENCH WIDTH, Ws OR Wu		
D DIAMETER OF PIPE	Wu UNSHEETED	Ws SHEETED
15"	3'-2"	4'-4"



TYPICAL PIPE TRENCH SECTION

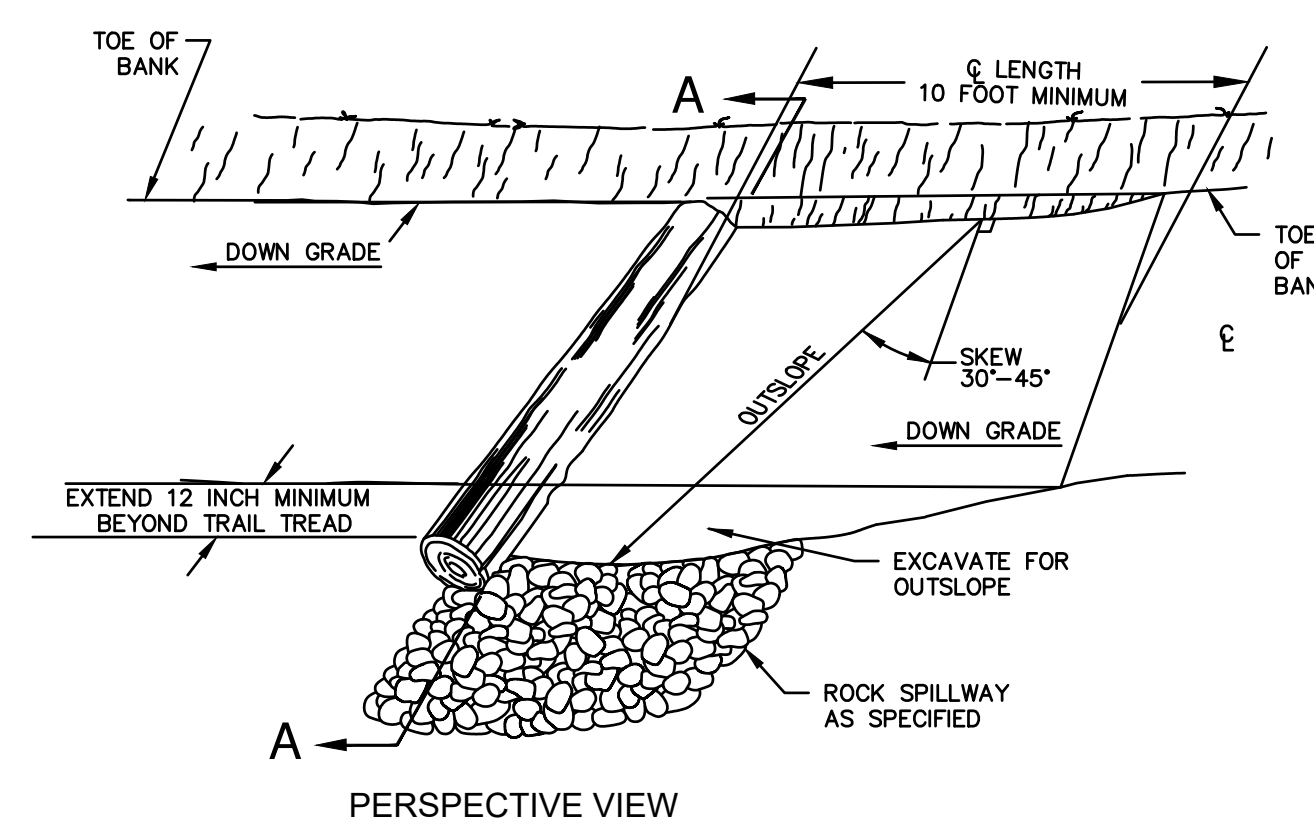
SCALE: NONE



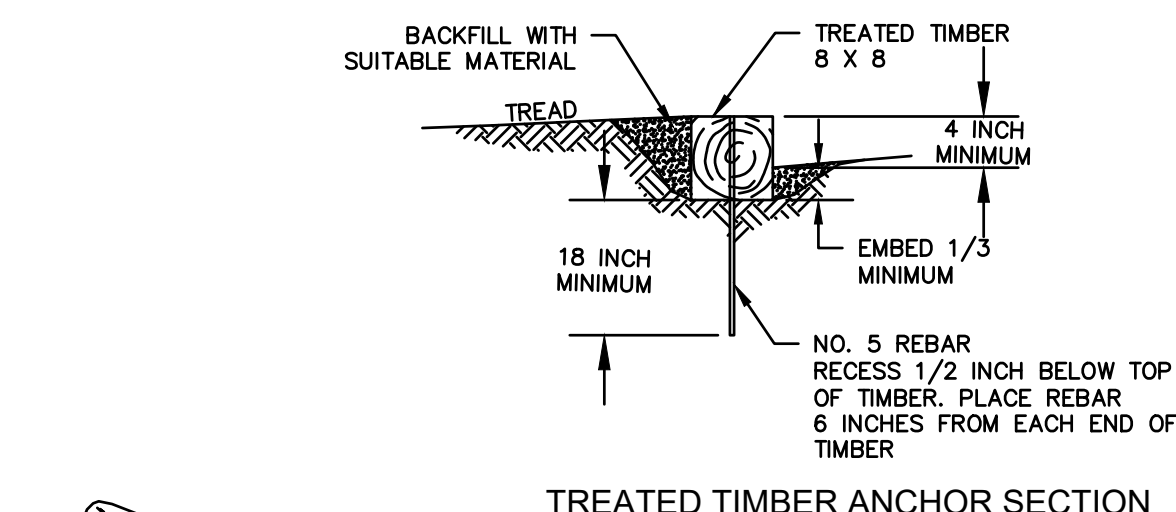
TYPICAL DRAINAGE DIP

SCALE: NONE

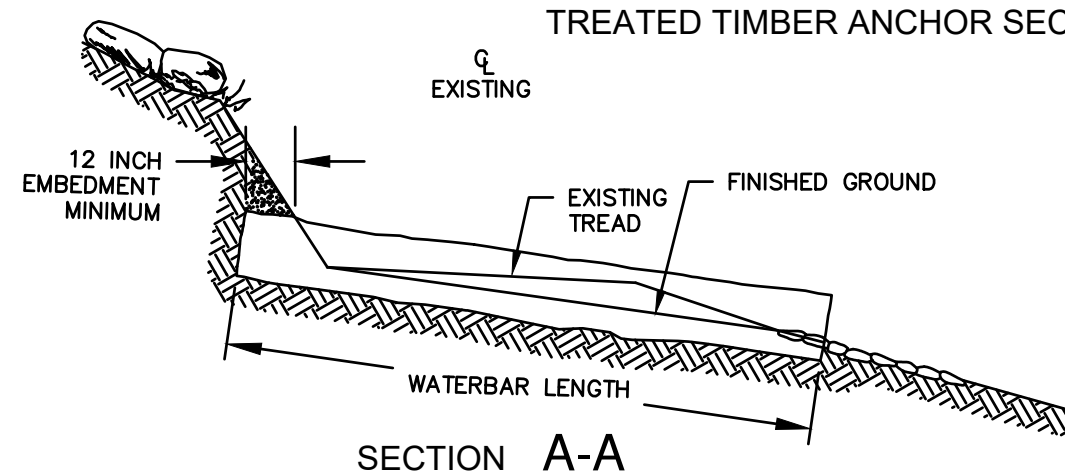
U.S. DEPARTMENT OF AGRICULTURE
FOREST SERVICE
STANDARD TRAIL PLAN



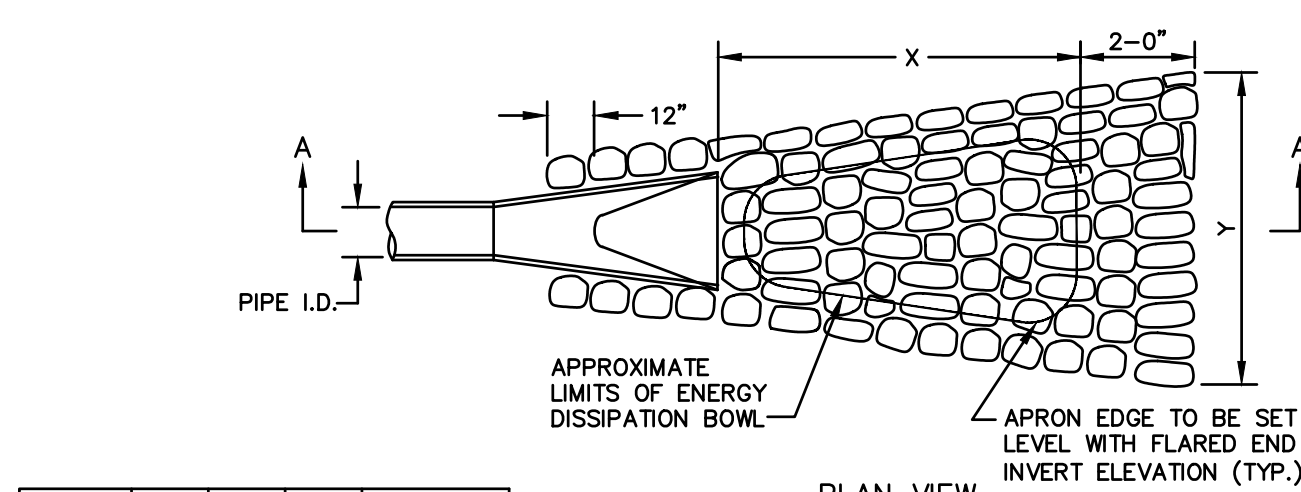
PERSPECTIVE VIEW



TREATED TIMBER ANCHOR SECTION



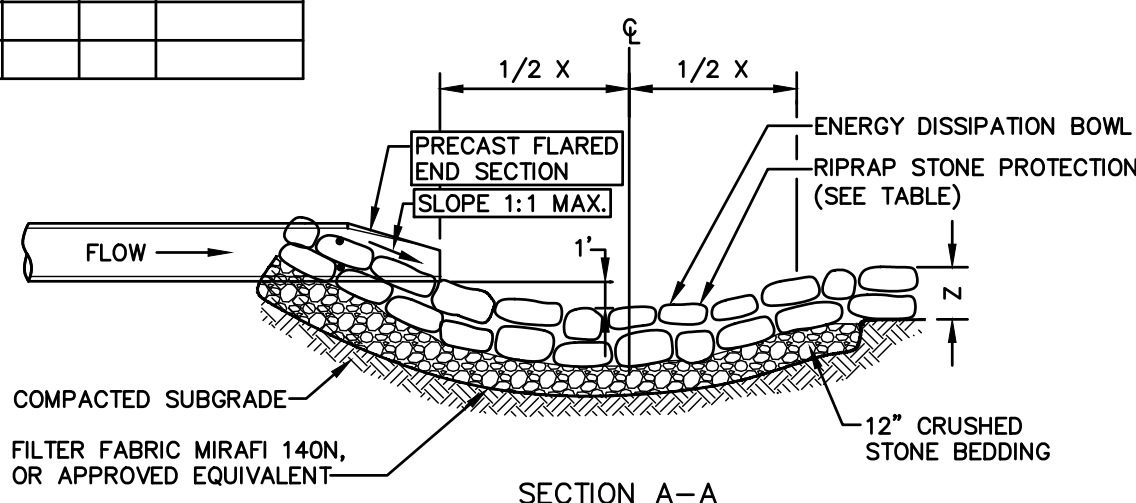
SECTION A-A



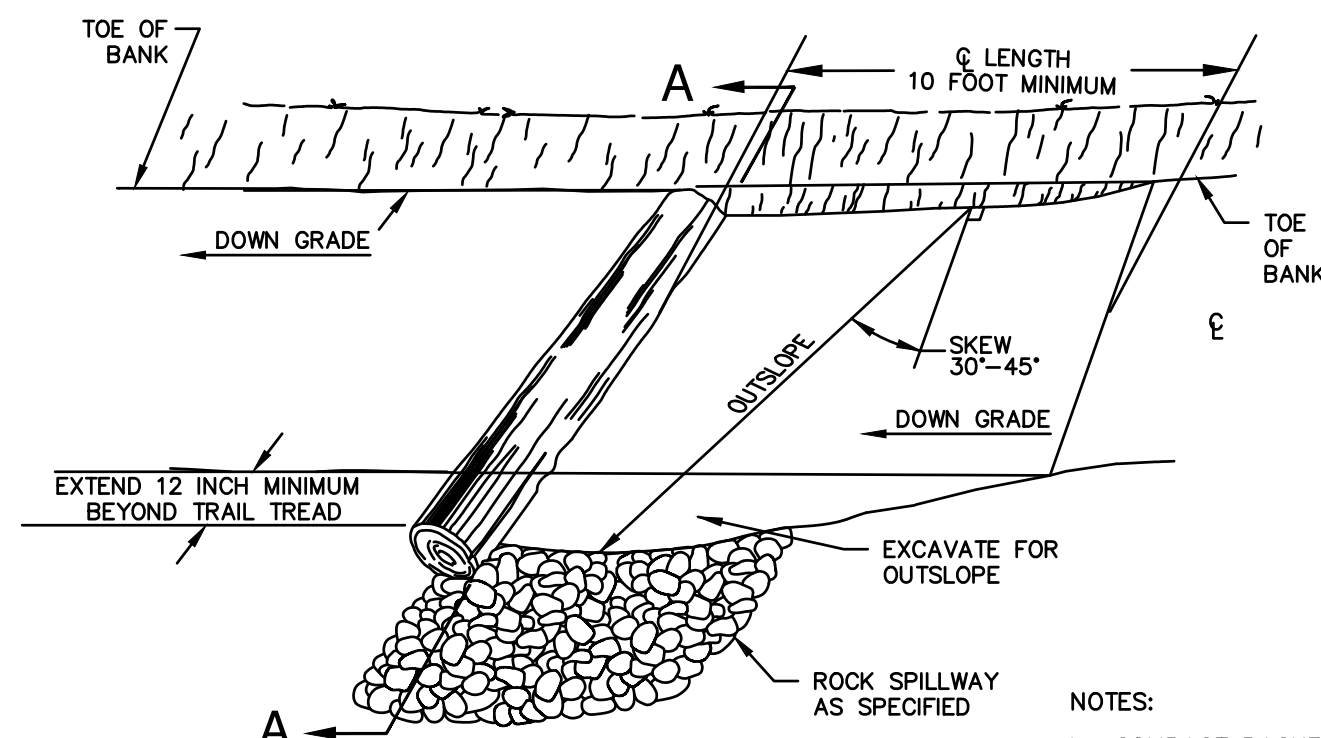
FLARED END SECTION W/ STONE PROTECTION (DISSIPATION BOWL)

SCALE: NONE

OUTLET NO.	X	Y	Z	STONE DIA. (D50)
FES-1	4	5.7	0.06	5"



SECTION A-A



PERSPECTIVE VIEW

TYPICAL DRAINAGE DIP

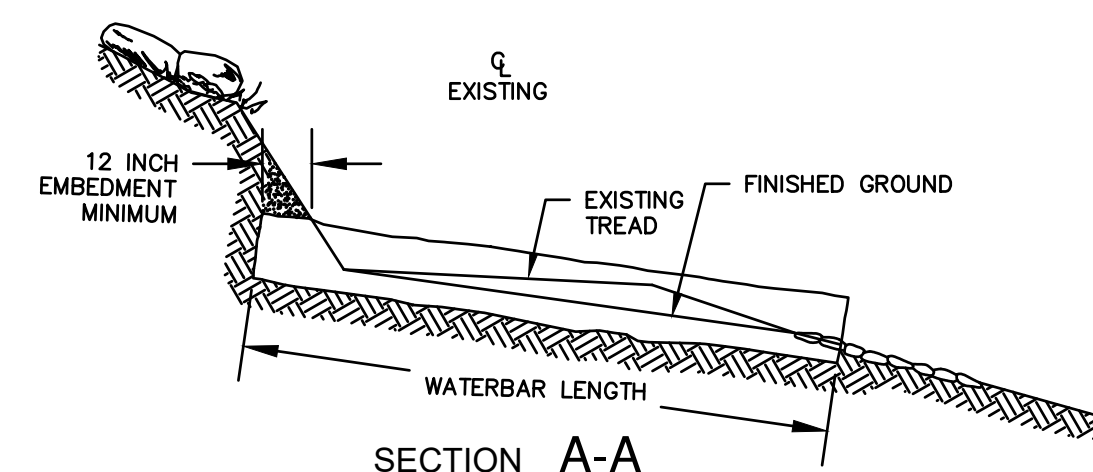
SCALE: NONE

- NOTES:**
1. COMPACT BACKFILL IN 6 INCH LIFTS UNTIL NO VISUAL DISPLACEMENT.
 2. PRE-DRILL HOLES FOR FASTENERS TO PREVENT SPLITTING OF LOGS OR SAWN TIMBER.

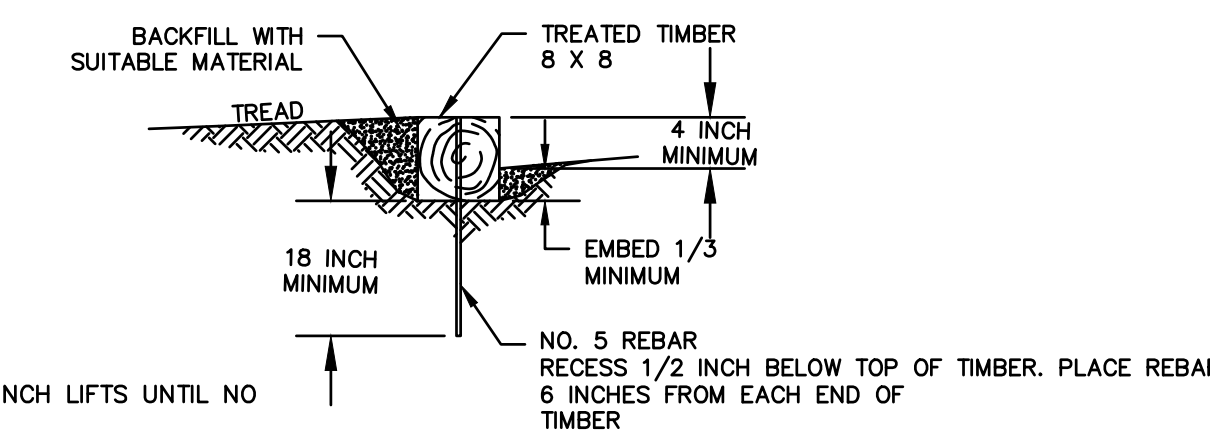
U.S. DEPARTMENT OF AGRICULTURE
FOREST SERVICE
STANDARD TRAIL PLAN

WATERBAR

SCALE: NONE



SECTION A-A



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PROFESSIONAL ENGINEER DATE

CAMP WAKANDA SITE IMPROVEMENTS

433 MAIN STREET
IN
BOXFORD, MA
(ESSEX COUNTY)

DETAIL SHEET I

JANUARY 6, 2023

REVISIONS:

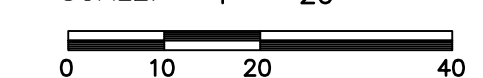
NO.	DATE	DESC.

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BOSTON, MA, 02115

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Andover, Massachusetts
01810
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SCALE: 1" = 20'



FILE: Projects\AND\8998100\C\DW\DET
DWG: C200
JOB. NO: 8-9981.00 SHEET C-200

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PROFESSIONAL ENGINEER DATE

**CAMP WAKANDA
SITE IMPROVEMENTS**

433 MAIN STREET
IN
BOXFORD,
MA
(ESSEX COUNTY)

DETAIL II

JANUARY 6, 2023

REVISIONS:

NO.	DATE	DESC.

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SCALE: 1" = 20'
0 10 20 40 FEET

FILE: Proj-AND/8997400/C/D/DET
DWG: C201
JOB: NO: 8-9981.00
SHEET C-201

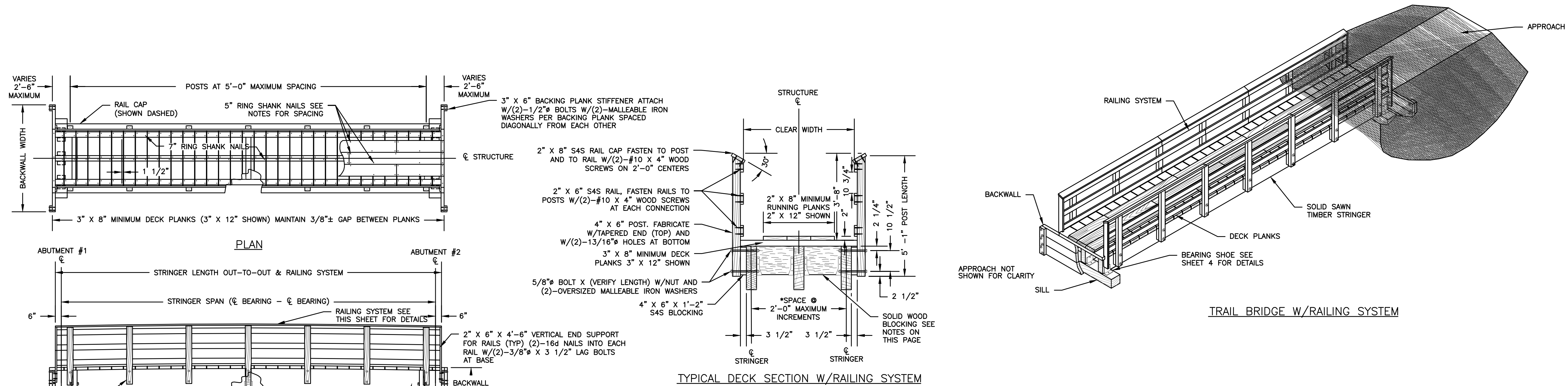
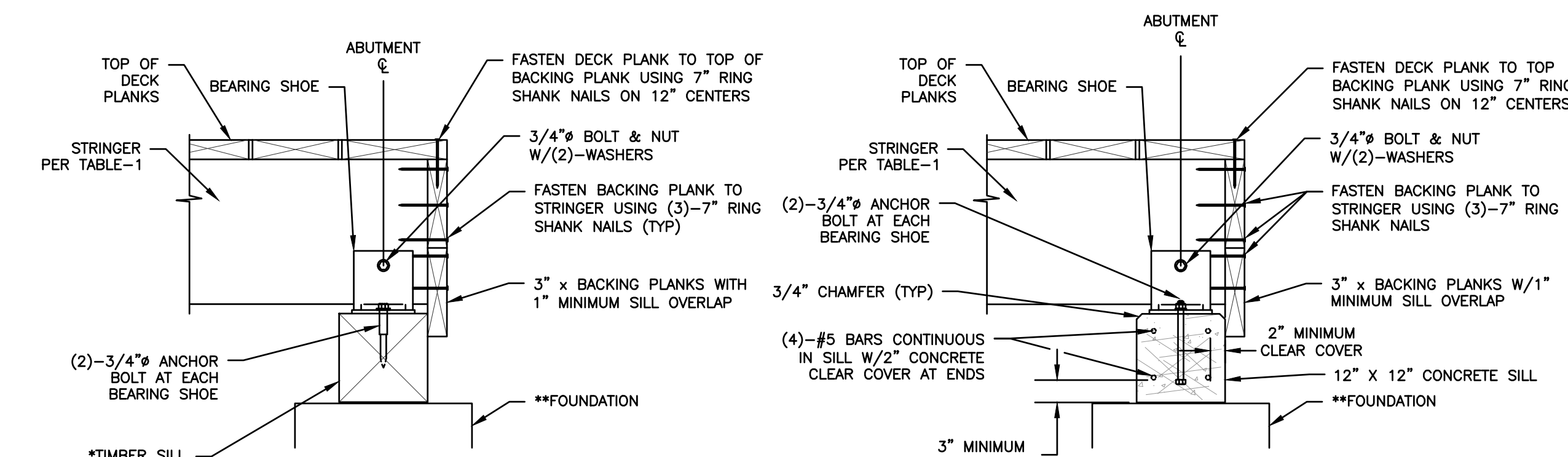


TABLE-1: SOLID SAWN STRINGER SIZE REQUIREMENTS - LRFD

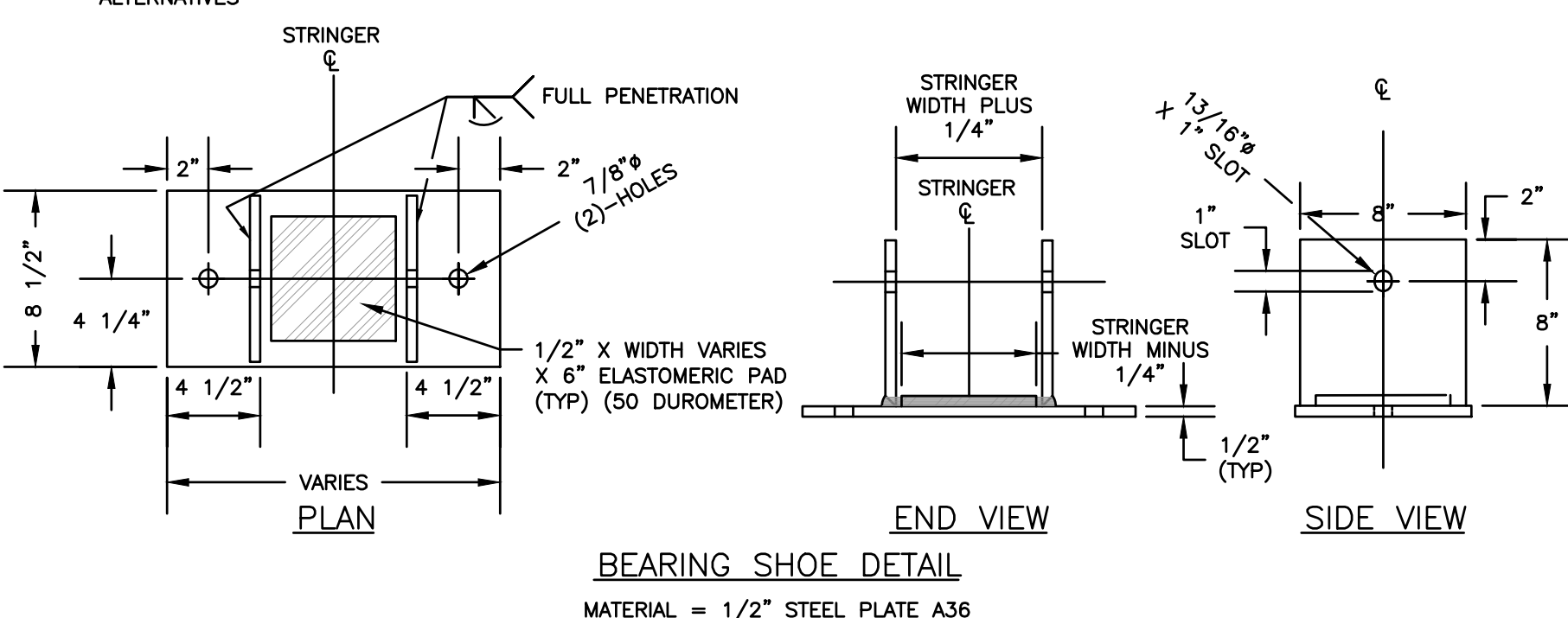
**STRINGER SPAN (FEET)	TIMBER SPECIES - DOUGLAS FIR - LARCH GRADE - NO.1				
	DESIGN LOADING IN POUNDS PER SQUARE FOOT				
	PEDESTRIAN LIVE LOAD		GROUND SNOW LOAD		
▲ 30	6" X 16"	6" X 18"	6" X 20"	6" X 20"	8" X 20"

▲INSTALL BRACING WITHIN A DISTANCE OF THE DEPTH OF THE BEAM FROM THE CENTERLINE OF BEARING & MID-SPAN
*STRINGER SIZE SHALL BE THE LARGER OF THE PEDESTRIAN OR GROUND SNOW LOAD SIZE REQUIRED FOR THE SITE CONDITIONS
**STRINGER LENGTH EQUAL TO STRINGER SPAN PLUS ONE FOOT

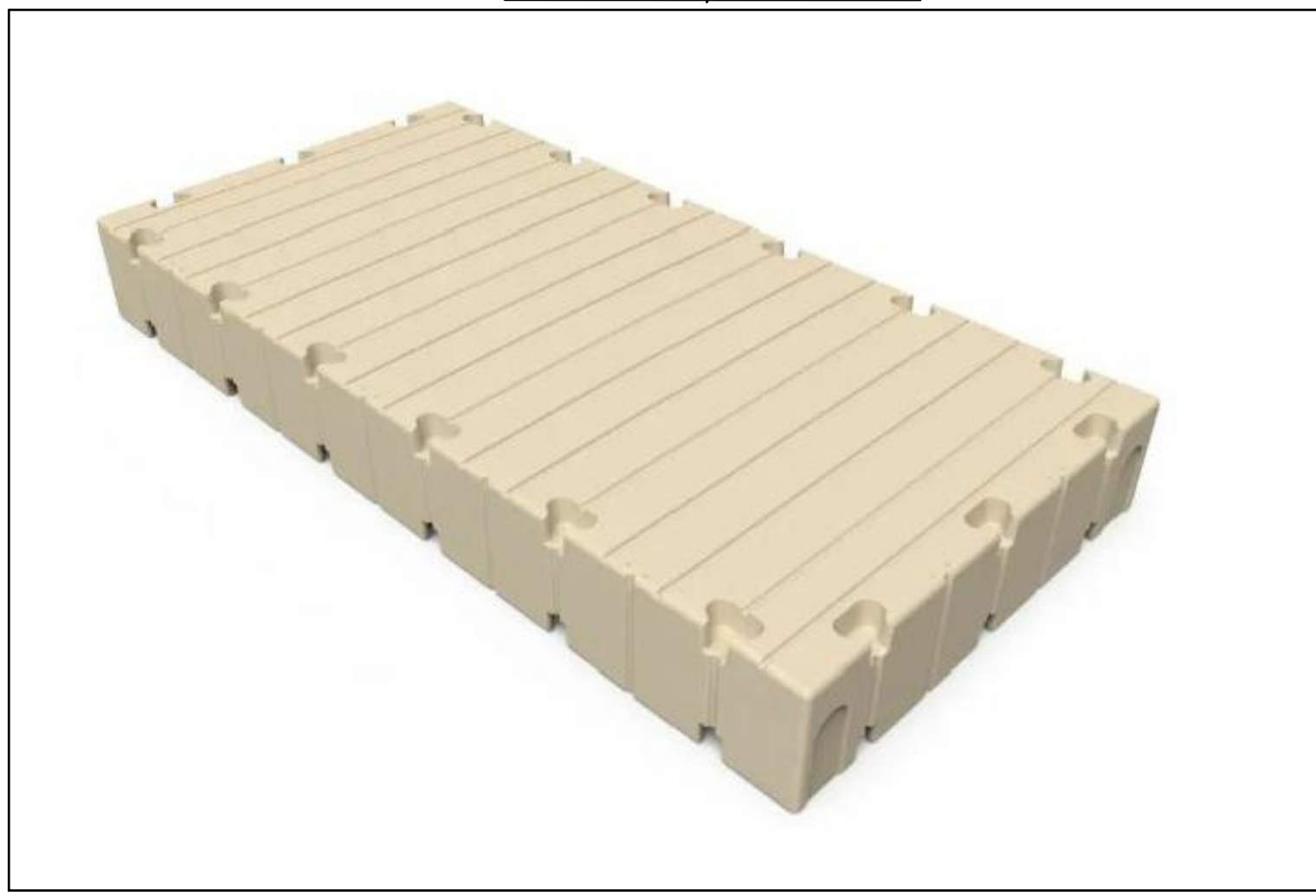
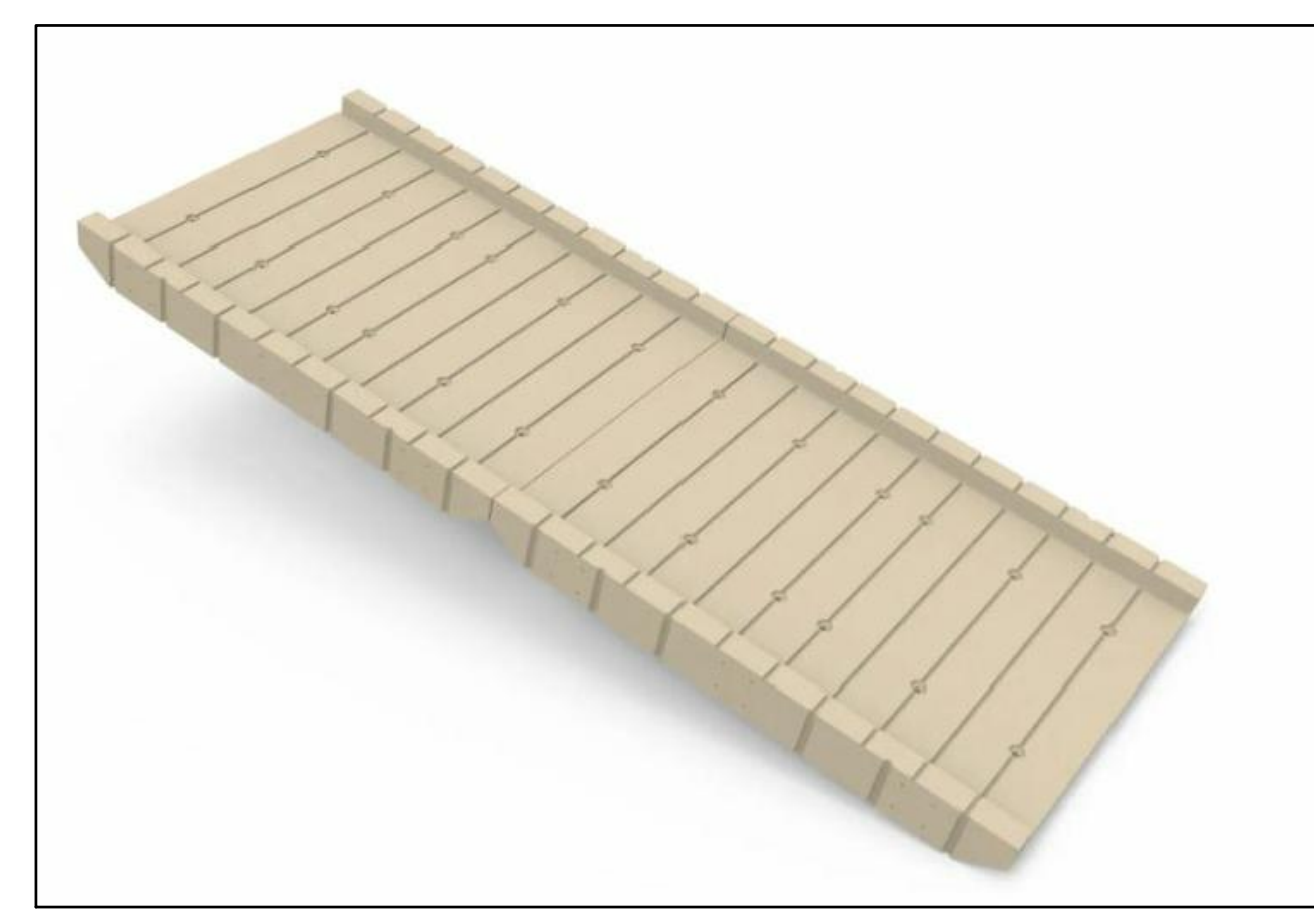
- NOTES:**
GRADE SHOWN = 0.0%, RUNNING PLANKS NOT SHOWN FOR CLARITY
- ALL DIMENSIONS IN TABLE-1 ARE NOMINAL (ROUGH SAWN). THE MINIMUM STRINGER DEPTH FOR BRIDGES WITH A PEDESTRIAN RAILING SYSTEM IS 15-INCHES. BRIDGES WITH STRINGER DEPTHS LESS THAN 15-INCHES SHALL HAVE CURBS ONLY. THE MINIMUM NUMBER OF STRINGERS IS THREE.
 - FASTEN DECK PLANKS TO STRINGERS WITH TWO ROWS 5/16-INCH DIAMETER X 7-INCH RING SHANK NAILS PER PLANK AT EACH STRINGER, ALTERNATE SIDES.
 - FASTEN RUNNING PLANKS TO DECK WITH 40d (5-INCH RING SHANK) NAILS AT 24-INCH SPACING. ALTERNATE SIDES WITH TWO AT EACH END.
 - PROVIDE A MINIMUM 1/2-INCH SPACE BETWEEN BLOCKING AND BACKWALL FOR AIR CIRCULATION.
 - SPLICE RAILS AT POSTS. RAILS SHALL BE CONTINUOUS FOR TWO POST SPACES. DO NOT LOCATE MORE THAN ONE RAIL SPLICE AT ANY ONE POST.
 - BRACING REQUIRED AT THE ENDS OF EACH MEMBER. THE BRACING SHALL BE THREE-QUARTERS TO FULL DEPTH AND PLACED WITHIN A DISTANCE OF THE DEPTH OF THE BEAM FROM THE CENTERLINE OF BEARING. BRACING REQUIRED AT MID-SPAN FOR SPANS OVER 20 FEET LONG.
 - WOOD BLOCKING SHALL BE BOLTED TO STRINGERS WITH STEEL ANGLES OR SUSPENDED IN STEEL HANGERS THAT ARE NAILED TO BLOCKS AND STRINGER SIDES



BACKING PLANK STIFFENER NOT SHOWN FOR CLARITY
**TIMBER SILL CAN BE EITHER 12" X 12" SOLID SAWN 10 3/4" X 12" GLUE-LAMINATED, BUILT-UP 3" X 12", 4" X 12", & 6" X 12" TREATED MEMBERS.
**SEE STANDARD DRAWINGS 965-10, 965-20, 965-30, & 965-40 FOR FOUNDATION ALTERNATIVES



NOTES:
SPECIFICATIONS: MATERIALS AND CONSTRUCTION OF THIS STRUCTURE SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATION FOR CONSTRUCTION OF ROADS AND BRIDGES ON FEDERAL HIGHWAY PROJECTS (FP-03) AND STANDARD SPECIFICATIONS FOR CONSTRUCTION OF TRAILS AND TRAIL BRIDGES ON FEDERAL PROJECTS.
CONCRETE: USE STRUCTURAL CONCRETE WITH 7 SACK MINIMUM MIX APPROVED BY THE C.O. CONCRETE SHALL RECEIVE A TOWELED SURFACE FINISH. CONCRETE SHALL HAVE 4%-6% ENTRAINED AIR. MAXIMUM SIZE AGGREGATE SHALL BE 3/4-INCH AND CONCRETE SLUMP SHALL NOT EXCEED 4-INCHES.
REINFORCING STEEL: PROVIDE REINFORCING STEEL THAT CONFORMS TO ASTM A615 (AASHTO M31), GRADE 40 OR 60. PROVIDE 2-INCH CLEAR CONCRETE COVER FOR ALL REBAR, UNLESS NOTED OTHERWISE ON THE PLANS.
HARDWARE AND STRUCTURAL STEEL: SEE SHEET 3 FOR PROJECT DESIGN CRITERIA AND GENERAL NOTES.
TREATED TIMBER & LUMBER: REFER TO THE GENERAL NOTES ON THE SUBSTRUCTURE DRAWINGS FOR TREATED TIMBER & LUMBER SPECIFICATIONS AND FIELD TREATING OF WOOD.
LAG SCREW INSTALLATION: PRE-BORE LAG SCREW HOLES USING TWO DIAMETERS, ONE FOR THE SHANK AND ONE FOR THE THREADS. THE LEAD HOLE FOR THE SHANK IS TO BE 1/16-INCH LARGER THAN THE SHANK DIAMETER AND IS TO BE BORED TO THE DEPTH OF PENETRATION OF THE SHANK. THE LEAD HOLE FOR THE THREADED PORTION IS TO BE 70% OF THE BOLT DIAMETER AS SHOWN ON THE PLANS AND IS TO BE BORED AT LEAST TO THE LENGTH OF THE THREADS. DO NOT DRIVE LAG SCREWS WITH A HAMMER.



TYPICAL SEASONAL FLOATING DOCK AND CANOE/KAYAK LAUNCH (OR APPROVED EQUAL)
SCALE: NONE

TYPICAL WOOD SPAN BRIDGE (OR APPROVED EQUAL)
SCALE: NONE



ISSUED FOR PERMITTING NOT FOR CONSTRUCTION

- MATERIALS TO BE CONSTRUCTED OF SLIP-RESISTANT POLYETHYLENE FLOATING DOCK AND LAUNCH.
- TYPICAL SECTIONS SHOWN FOR REFERENCE ONLY. ACTUAL SECTIONS WILL BE PER THE SELECTED MANUFACTURER INSTALLED PER THEIR SPECIFICATIONS.
- ALL COMPONENTS TO BE SEASONAL AND REMOVED PRIOR TO THE WINTER SEASON.

Attachment C

Camp Wakanda Improvements
Boxford, MA
Notice of Intent

SITE PHOTOGRAPHS



Photo #1: Existing condition of access road; severe erosion is evident in several locations. *Facing South*



Photo #2: Undersized footbridge over intermittent stream to be upgraded for safety and accessibility. *Facing East*.



Photo #3: Beach area to be refreshed. *Facing West.*



Photo #4: Location of proposed amphitheater and canoe storage. *Facing East.*

Attachment D

Camp Wakanda Improvements
Boxford, MA
Notice of Intent

CERTIFIED LIST OF ABUTTERS

18-01-30 - 443 MAIN ST, BOXFORD ABUTTERS LIST
 CONSERVATION COMMISSION 250' + PONDS

Parcel ID	Location	Owner	Owner 2	Owner Address	Owner City/Town	Owner State	Zip Code
13-02-03-3	30A MULBERRY LN	SQUHLERIS DESI		30A MULBERRY LN	BOXFORD	MA	01921
13-02-03-4	30B MULBERRY LN	PICCIAFOCO DREW A	CELESTIN FREDERIC	30B MULBERRY LN	BOXFORD	MA	01921
14-02-01	444 IPSWICH RD	JONES CARLTON S	JONES DANA G	450 IPSWICH ROAD	BOXFORD	MA	01921
14-02-06	5B CHANDLER RD	VITAS E ZACHARY	VITAS KATHERINE E	5B CHANDLER RD	BOXFORD	MA	01921
17-02-27-1	STILES POND	TOWN OF BOXFORD		7A SPOFFORD RD	BOXFORD	MA	01921
17-02-29	4A STILES POND	DANVERS COMMUNITY Y.M.C.A.		34 PICKERING ST	DANVERS	MA	01923
17-02-31	4B STILES POND	TOWN OF BOXFORD		7A SPOFFORD RD	BOXFORD	MA	01921
17-02-32-12	27A BAYNS HILL RD	HADLEY THOMAS M	HADLEY DOROTHY	27A BAYNS HILL RD	BOXFORD	MA	01921
17-02-32-13	27B BAYNS HILL RD	ARNOLD RYAN P	ARNOLD JENNIFER	27B BAYNS HILL RD	BOXFORD	MA	01921
17-02-32-8	27C BAYNS HILL RD	KLANDERMAN GREGORY A	KLANDERMAN BARBARA J	27C BAYNS HILL RD	BOXFORD	MA	01921
18-01-01	81C STILES POND RD SOUTH	MUTO VICTOR L TE	CHRISTINE R MUTO	P O BOX 511	W BOXFORD	MA	01885
18-01-02	81B STILES POND RD SOUTH	DOTY DOUGLAS P	SANDRA J DOTY	6 ELM ST	N READING	MA	01864
18-01-03	114 STILES POND RD	KREINER DANIEL TE	KREINER ANITA P	114 STILES POND RD	BOXFORD	MA	01921
18-01-04	81A STILES POND RD	SULLIVAN GILBERT J	SULLIVAN SHIRLEY	81A STILES POND RD	BOXFORD	MA	01921
18-01-06	118 STILES POND SOUTH	ESTATE OF PATRICIA A STICKNEY	STICKNEY STEPHEN A	118 STILES POND SOUTH	BOXFORD	MA	01921
18-01-06-A	116 STILES POND RD	KAGAN J P TR	W & B KAGAN FAM TR	P O BOX 408	WEST BOXFORD	MA	01885
18-01-07	114 STILES POND RD MIDDLE	KREINER ANITA P TE	KREINER DANIEL	114 STILES POND RD	BOXFORD	MA	01921
18-01-08	112 STILES POND RD	CUNNINGHAM JOSEPH		39 PLEASANT ST	STONEHAM	MA	02180
18-01-10	STILES POND RD	BUSBY PHILIP A JR	BUSBY VIRGINIA A	9 POND LANE	ATKINSON	NH	03811
18-01-11	110 STILES POND RD	GULEZIAN KERRY M	GULEZIAN PETER C	3 LITTLE ROB RD	ATKINSON	NH	01913
18-01-13	108 STILES POND RD MIDDLE	ETHIER ALBERT E TE	ETHIER ANN F	337 WOBURN STREET	WILMINGTON	MA	01887
18-01-14	106 STILES POND RD	GLADSTONE KAREN		106 STILES POND RD	BOXFORD	MA	01921
18-01-15	104 STILES POND RD MIDDLE	BOYLE JOSEPH G TE	COLLEEN BOYLE	P O BOX 16	W BOXFORD	MA	001885-00*
18-01-16	102 STILES POND RD MIDDLE	AUTIELLO RAYMOND G JR	AUTIELLO ANGELINA	61 PERKINS COURT	HAVERHILL	MA	01832
18-01-17	STILES POND RD	AUTIELLO RAYMOND G JR TR	AUTIELLO FAMILY REAL ESTATE TRUST	61 PERKINS CT	HAVERHILL	MA	01832
18-01-21	98 STILES POND RD	BUSBY PHILIP A JR	BUSBY VIRGINIA A	9 POND LANE	ATKINSON	NH	03811
18-01-23-C	96 STILES POND RD	CUNNINGHAM JOSEPH W		39 PLEASANT ST	STONEHAM	MA	02180
18-01-24	20A&B STILES POND RD SOUTH	ROHR KENNETH R TE	FRANCES J ROHR	PO BOX 462	W BOXFORD	MA	01885
18-01-26	18 STILES POND RD	CUNNINGHAM JOSEPH W	CYNTHIA CUNNINGHAM	39 PLEASANT ST	STONEHAM	MA	02180
18-01-27-1	4C STILES POND RD	GARSDIE TR, MARIA IDILIA MENDONCA		4C STILES POND RD	BOXFORD	MA	01921
18-01-30	443 MAIN ST	YMCA OF GREATER BOSTON	CAMP WAKANDA	316 HUNTINGTON AVE	BOSTON	MA	02115
18-01-32	22C CHANDLER RD	DEMARCO JAMES M	DEMARCO NANCY J	22C CHANDLER RD	BOXFORD	MA	01921
18-01-33	22B CHANDLER RD	JENKINSON JOSEPH W T	THEAR E JENKINSON	22B CHANDLER RD	BOXFORD	MA	01921
18-01-34	22A CHANDLER RD	BEAULIEU ALAN P TE	BEAULIEU NANCY D	22A CHANDLER RD	BOXFORD	MA	01921
18-01-35	20C STILES POND RD SOUTH	KRESS DAVID W	KRESS LOUISE R BALWIT	PO BOX 83	WEST BOXFORD	MA	01885
18-01-37	5A CHANDLER RD	TRAN VINH QUANG	TRAN NADEZHDA N	5A CHANDLER RD	BOXFORD	MA	01921
18-01-38	31C CHANDLER RD	REDDY BHANU TE	REDDY PRATHIMA	31 C CHANDLER RD	BOXFORD	MA	01921
18-01-39	11 CHANDLER RD	DOTOLO CAROLINE	WATTS JUSTIN	11 CHANDLER RD	BOXFORD	MA	01921
18-01-41	31A CHANDLER RD	TAYLOR ROBERT H		31 A CHANDLER RD	BOXFORD	MA	01921
18-01-42	31B CHANDLER RD	PICONE PETER TE	PICONE BETTY	31 B CHANDLER RD	BOXFORD	MA	01921
18-01-43	32 CHANDLER RD	WEISENHOF SCOTT M TR	WEISENHOF ALESSANDRA C TR	32 CHANDLER RD	BOXFORD	MA	01921
18-01-44	30 CHANDLER RD	ROBERTSON DAVID H TE	ROBERTSON KIMBERLY K	30 CHANDLER RD	BOXFORD	MA	01921
18-02-04	372 IPSWICH RD	LYNN CAMP ROTARY		P O BOX 270	BOXFORD	MA	01921

CERTIFIED COPY
 01/17/2023
Kristin Hanlon