

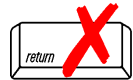


WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
Boxford Wetlands Protection Bylaw, Town Code Ch. 192 & 375

A. General Information

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant: Marisa - marisakfitz@gmail.com
Marshall - mireland7@gmail.com

Marisa & Marshall Ireland E-Mail Address

Name MA 01921

20 Moonpenny Drive State Zip Code

Mailing Address n/a

Boxford Fax Number (if applicable)

City/Town

Marisa Cell - 978-914-2289 / Marshall Cell - 978-478-7024

Phone Number

2. Representative (if any):

Firm

Contact Name E-Mail Address

Mailing Address

City/Town State Zip Code

Phone Number Fax Number (if applicable)

B. Determinations

1. I request the Conservation Commission make the following determination(s). Check any that apply:

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

Name of Municipality

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).



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C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

20 Moonpenny Drive
Street Address

Boxford
City/Town

Assessors Map/Plat Number

Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

Expand deck to our above ground pool (see pages 5 & 6) and replace asphalt shingle roof.

- c. Plan and/or Map Reference(s):

See pages 5 & 6 of this document for deck plans

Title	6/13/22
Title	Date
Title	Date
Title	Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

Expand deck to our above ground pool (see pages 5 & 6) and replace asphalt shingle roof.

Construction done by Capital Construction, Orchard Hill Office Park
354 Turnpike Street, Suite 303, Canton, MA 02021
Office: 617-319-1225, Fax: 781-562-1032



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C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)

House was built in the 1972



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D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

Marisa Ireland	
Name	
20 Moonpenny Drive	
Mailing Address	
Boxford	
City/Town	
MA	01921
State	Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

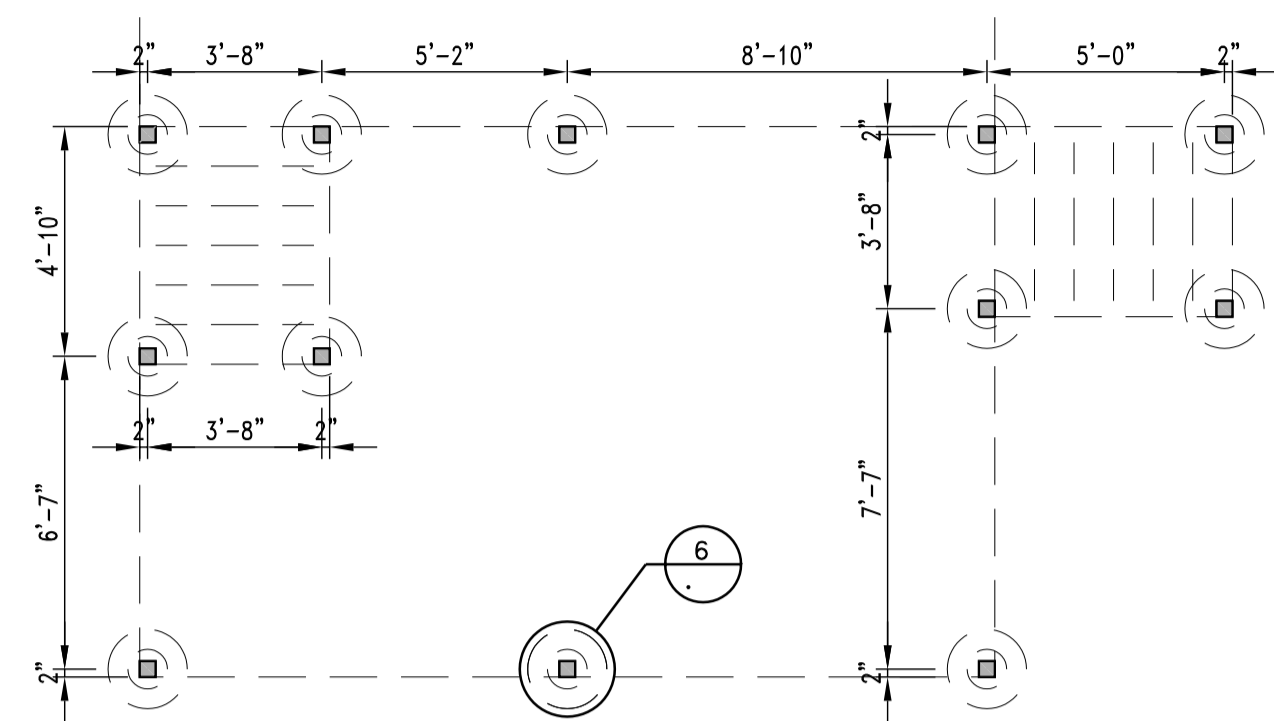
	6/13/22
Signature of Applicant	Date

_____	_____
Signature of Representative (if any)	Date

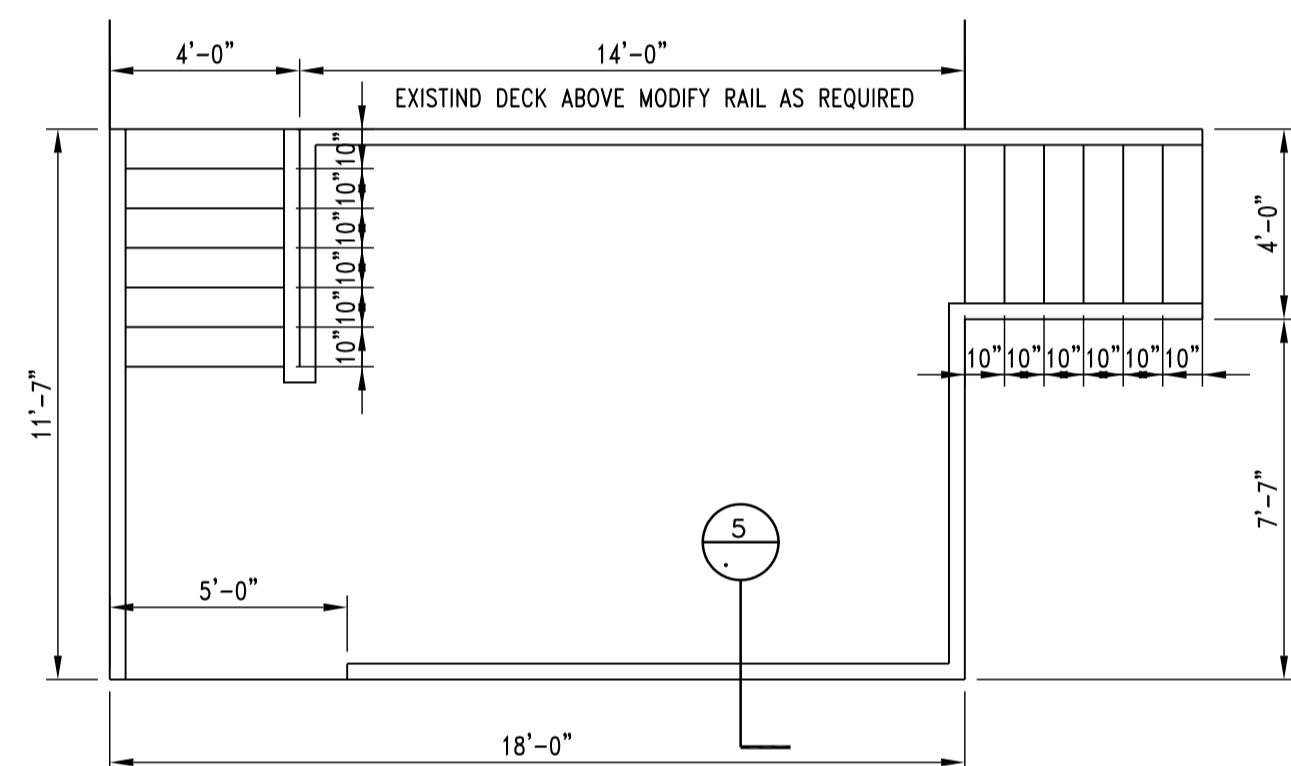
Extend deck to Pool
20 Moopenny Drive, Boxford

Rough idea of where the deck will me built.

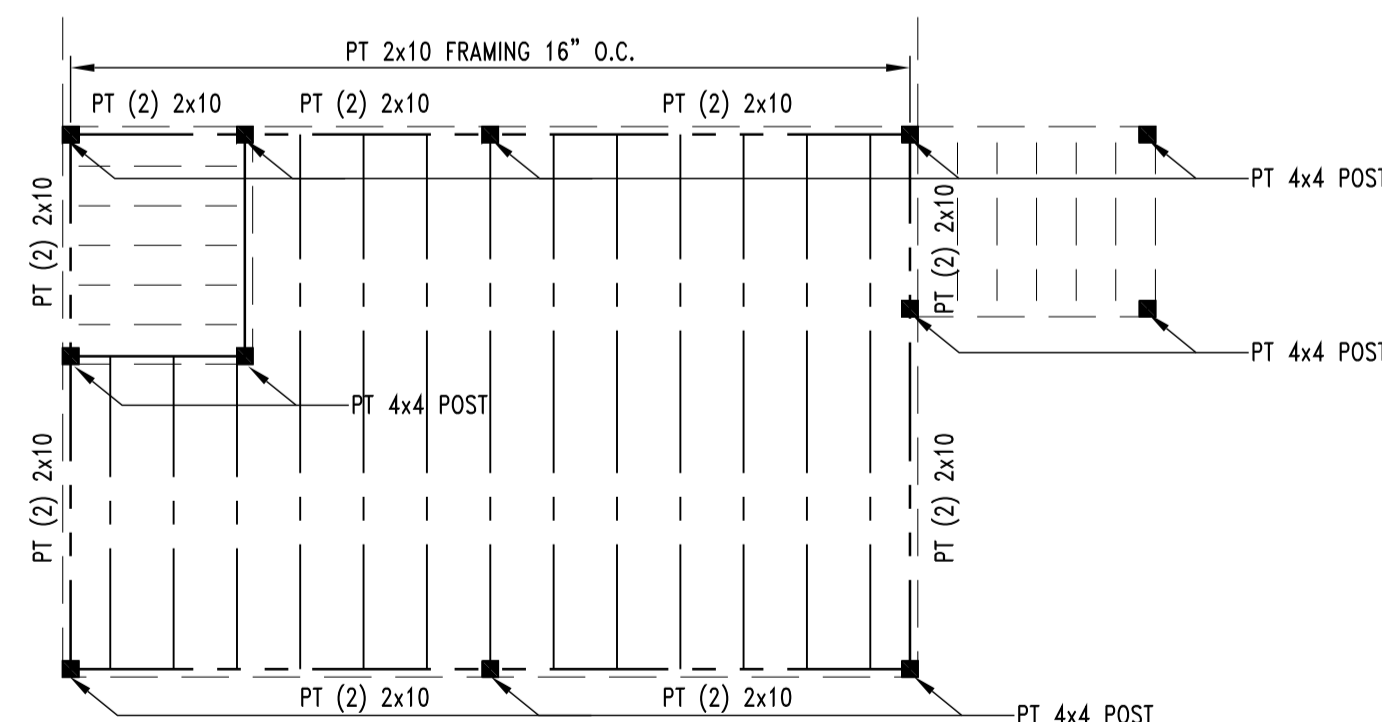




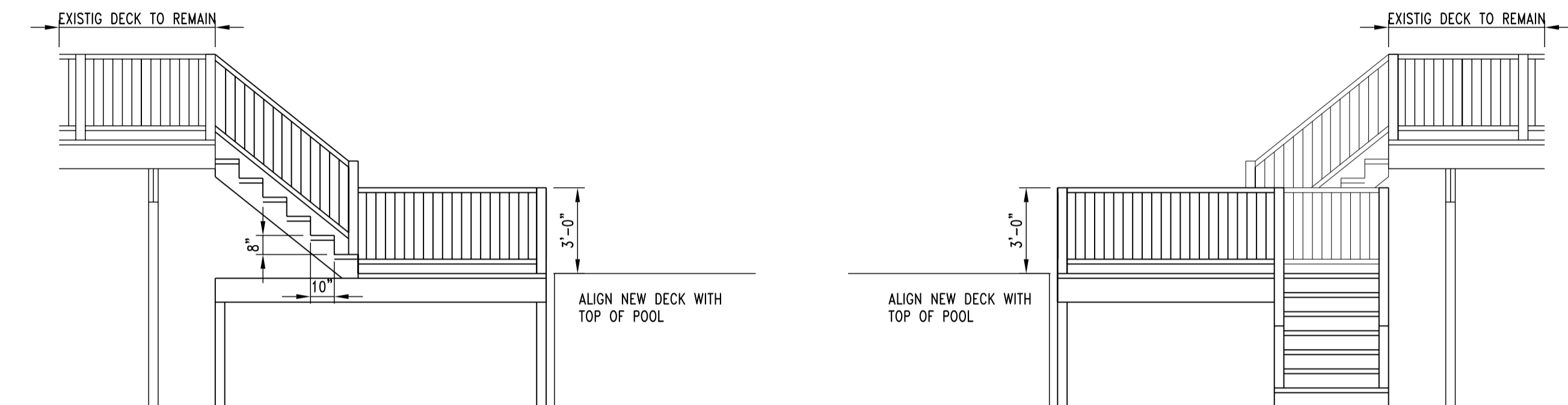
1 Footings Plan
Scale: 1/4" = 1'-0"



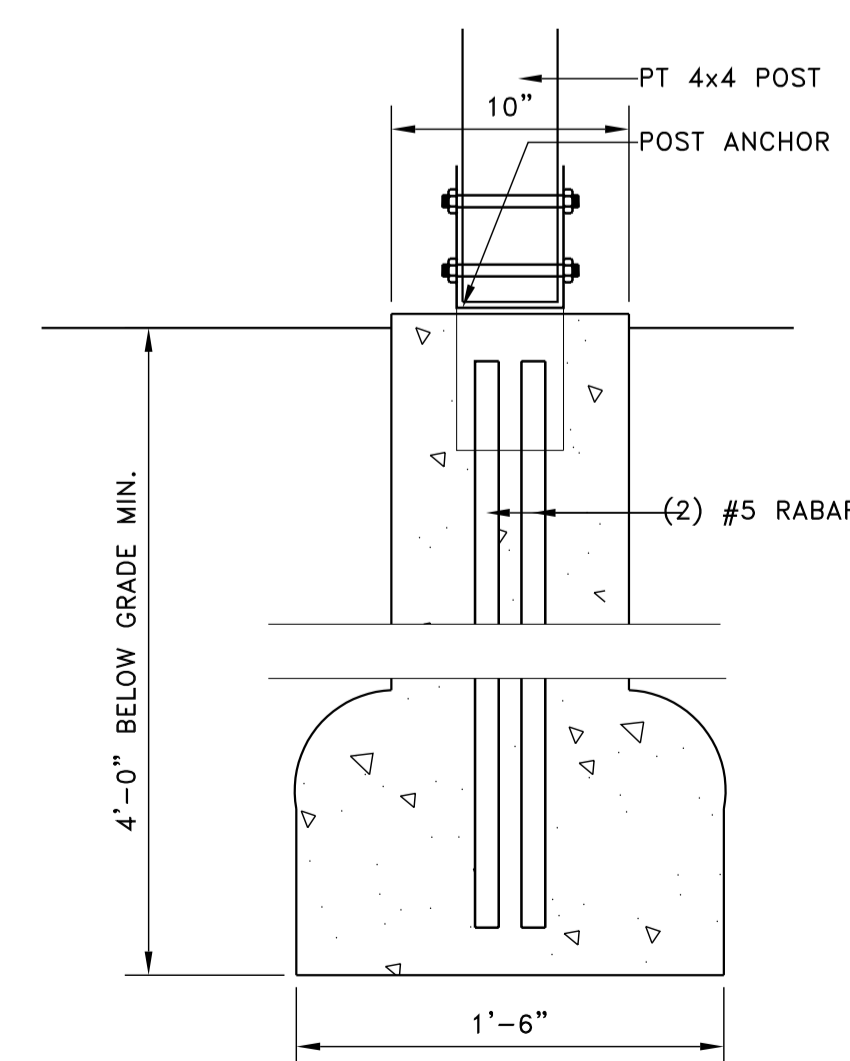
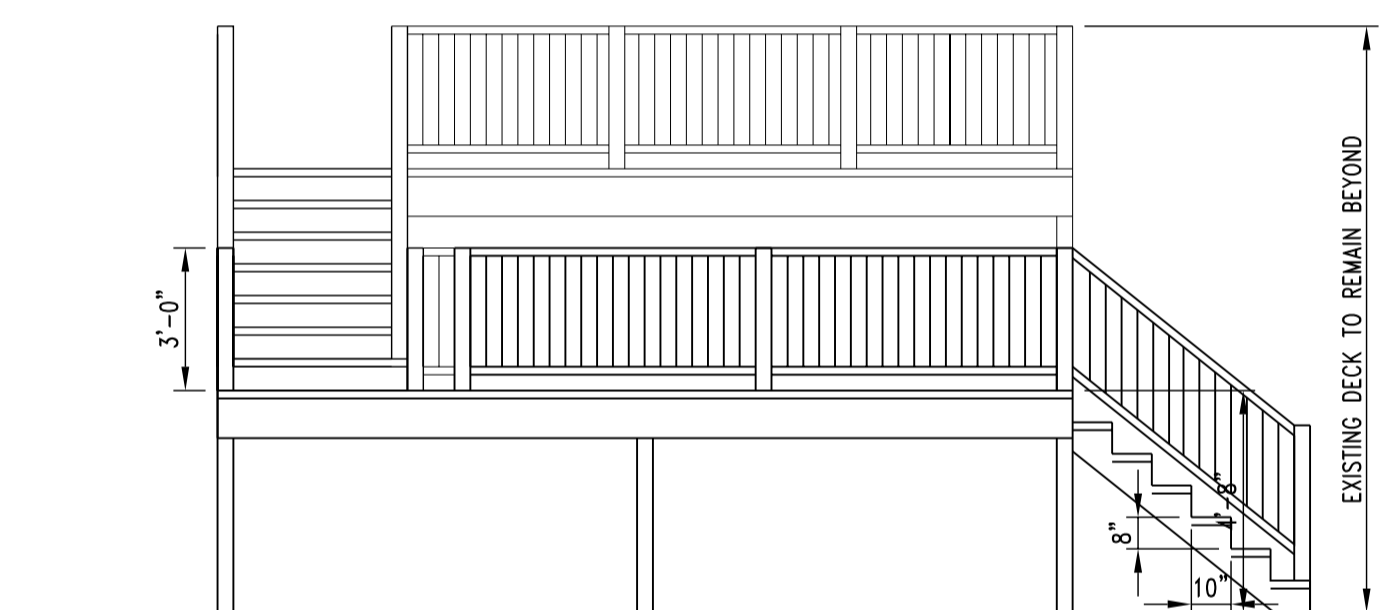
2 Decking Plan
Scale: 1/4" = 1'-0"



3 Framing Plan
Scale: 1/4" = 1'-0"



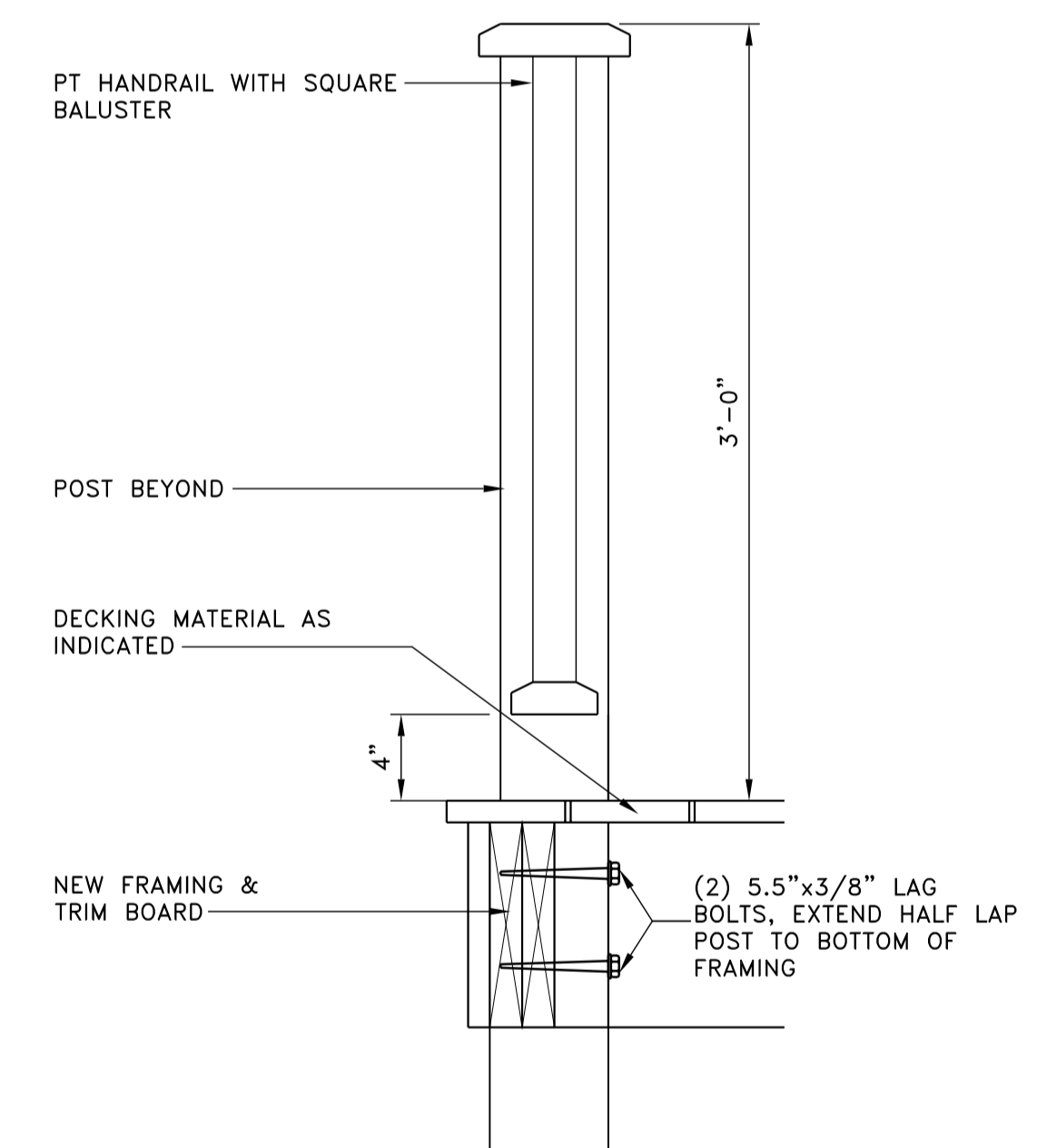
5 Deck & Stair Elevation 1
Scale: 1/4" = 1'-0"



6 Post Footing
Scale: 1-1/2" = 1'-0"

General Notes:

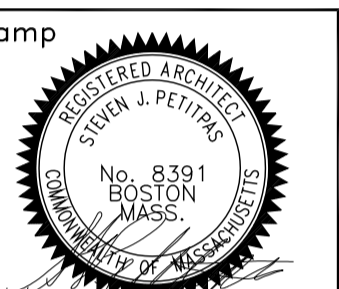
- All deck and landing handrails to be 36" min .
- Install new posts, deck and rails as shown on plans.
- All new footings shall be 10" sonotube 48" below grade with metal connector to all wood posts.
- Install new framing as indicated on plans.
- All other requirements verify with project manager for Capital Construction.



5 Handrail Detail
Scale: 1-1/2" = 1'-0"

north arrow

Capital Construction Contracting Inc.
Home Remodeling & Contracting Company
3 Norwood Street
Boston, Massachusetts 02122
Phone: 617-319-1225
Fax: 617-397-5877



project

Deck & Stair Replacement
20 Moodpenny Drive
Boxford, Massachusetts

revisions

no.	description

date

04/18/2022

scale

1/4" = 1'-0"

drawn

SJP

job no.

title

Deck Plan,
Elevations &
Details

sheet no.

A1