

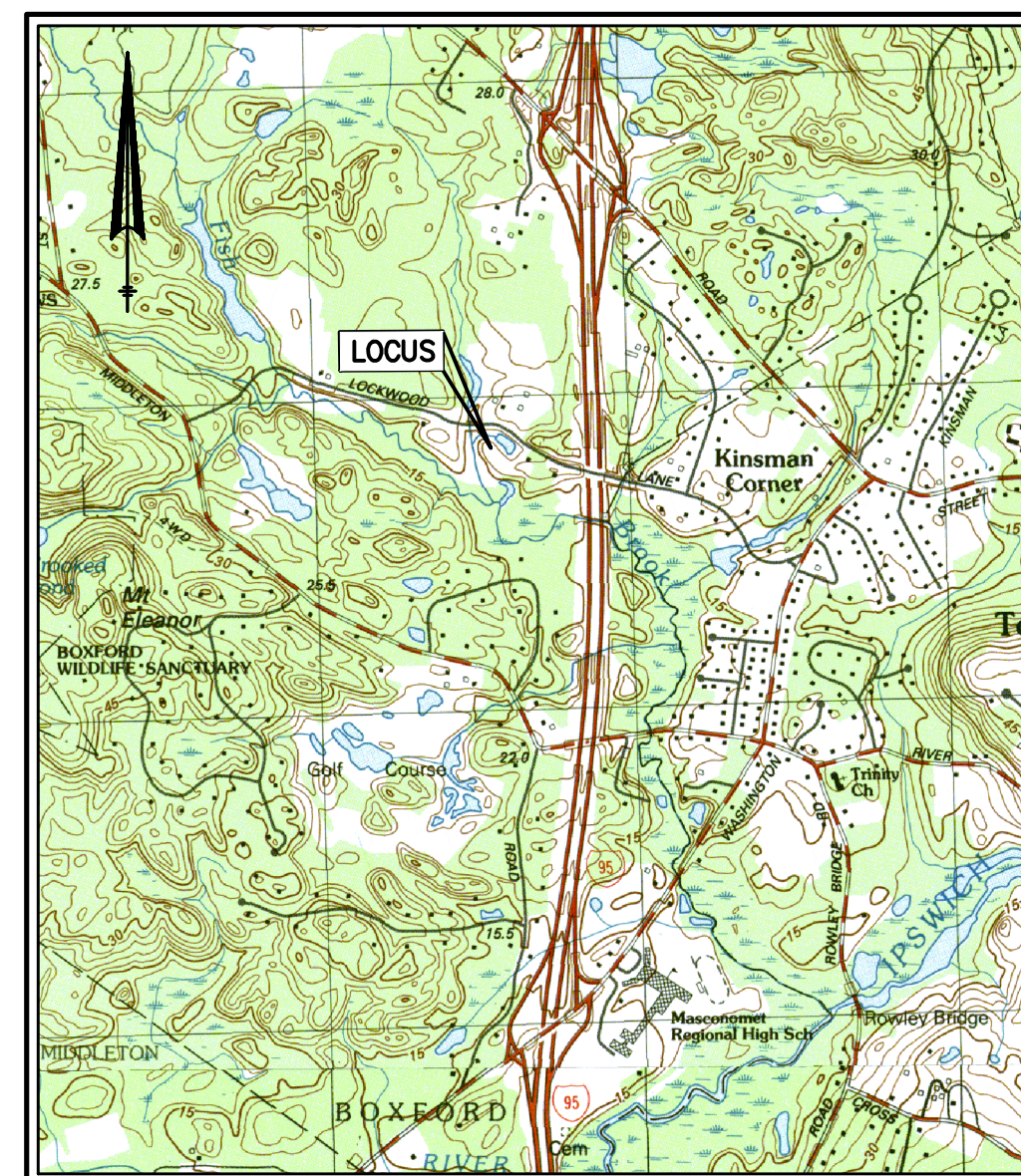
PERMIT SITE PLAN

65 LOCKWOOD LANE

BOXFORD, MASSACHUSETTS 01921

FOR

AUDAI COTE



VICINITY MAP
SCALE: 1"=2000'

OWNER / APPLICANT:

AUDAI COTE
65 LOCKWOOD LANE
BOXFORD, MASSACHUSETTS 01921

SHEET INDEX

SHEET C-0.....COVER SHEET
SHEET V-1.....TOPOGRAPHIC PLAN OF LAND
SHEET C-2.....SITE PLAN
SHEET C-3.....RESOURCE AREA PLAN
SHEET C-4.....DETAIL PAGE

65
LOCKWOOD
LANE

Boxford, Massachusetts 01921

ASSESSORS:

MAP	BLOCK	LOT
37	01	77.2

PREPARED FOR:

AUDAI
COTE

65 Lockwood Lane
Boxford, Massachusetts, 01921

**HANCOCK
ASSOCIATES**

Civil Engineers

Land Surveyors

Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7816
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1	TJS	MTC	5/15/23	COMMENTS FROM CONSERVATION
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 4/20/23 DESIGN BY: TJS
SCALE: 1" = 20' DRAWN BY: TJS
APPRVD. BY: MTC CHECK BY: KMF

**COVER
SHEET**

PLOT DATE: May 15, 2023 12:15 pm
PATH: F:\Chd_20\Projects\26730-Cote-Boxford\Eng\

DWG: 26730psp.dwg

LAYOUT: TITLE

SHEET: 1 OF 5

PROJECT NO:

C-0

26730

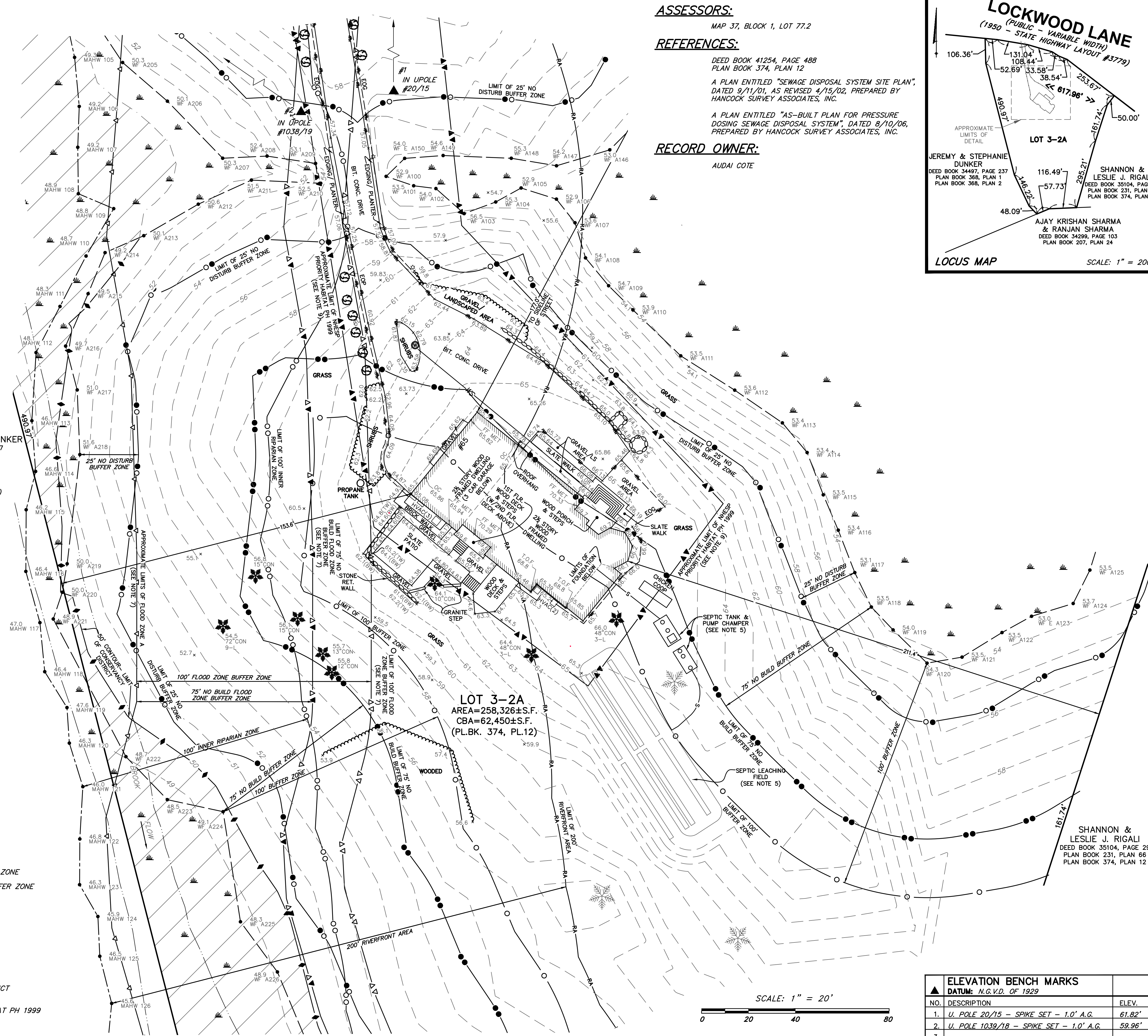
NOTES:

- 1) NOT USED.
- 2) ELEVATIONS SHOWN HEREON REFER TO N.G.V.D. 1929 AND REFERENCE A PLAN ENTITLED "SEWAGE DISPOSAL SYSTEM SITE PLAN", DATED 9/11/01, AS REVISED 4/15/02, PREPARED BY HANCOCK SURVEY ASSOCIATES, INC.
- 3) UTILITIES SHOWN HEREON FROM FIELD LOCATIONS OF SURFACE STRUCTURES AND A SEPTIC AS-BUILT PLAN REFERENCED HEREON. NO UNDERGROUND UTILITIES WERE INCLUDED AS PART OF THIS SURVEY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 4) BUILDING OFFSETS SHOWN HEREON ARE TO CORNER BOARD.
- 5) LOCATION OF EXISTING SEPTIC SYSTEM AND WATER SERVICE IS BASED ON A PLAN ENTITLED "AS-BUILT PLAN FOR PRESSURE DOSING SEWAGE DISPOSAL SYSTEM", DATED 8/10/06 AND PREPARED BY HANCOCK SURVEY ASSOCIATES, INC.
- 6) LIMITS OF BORDERING VEGETATED WETLANDS AND MEAN ANNUAL HIGH WATER SHOWN HEREON WERE DELINEATED BY HANCOCK ASSOCIATES ON 5/9/23 AND LOCATED BY FIELD SURVEY ON 5/9/23 & 5/10/23.
- 7) A PORTION OF THE PREMISES IS LOCATED IN THE SPECIAL FLOOD HAZARD AREA (ZONE A- NO BASE FLOOD ELEVATION DETERMINED). ALSO A PORTION OF THE SOUTHWESTERLY CORNER OF THE PREMISES IS IN FLOOD ZONE AE (FLOOD ELEVATION BETWEEN 46FT-47FT NAVD 88) AND FLOOD ZONE X (0.2% ANNUAL CHANCE FLOOD HAZARD). FLOOD ZONES AS SHOWN ON FLOOD INSURANCE RATE MAP 25009C0263F, BEARING AN EFFECTIVE DATE OF JULY 3, 2012. LIMIT OF FLOOD ZONES SHOWN HEREON ARE APPROXIMATE AND BASED ON MASS MAPPER GIS (MASS GIS).
- 8) LIMIT OF 50' CONSERVANCY DISTRICT AND EDGE OF BROOK REFERENCE PLAN BOOK 374, PLAN 12.
- 9) LIMIT OF THE NATIONAL HERITAGE ENDANGERED SPECIES PROGRAM (NHESP) PRIORITY HABITAT PH 1999 IS APPROXIMATE AND BASED ON MASS MAPPER GIS (MASS GIS).

JEREMY & STEPHANIE DUNKER
DEED BOOK 34497, PAGE 237
PLAN BOOK 368, PLAN 1
PLAN BOOK 368, PLAN 2

LEGEND

- 60 --- PRE-EXISTING SURFACE CONTOUR (REFERENCE 2002 SITE PLAN SHOWN HEREON)
- 60 --- EXISTING SURFACE CONTOUR (SURVEY UPDATED 12/19/2022)
- ===== STONE WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EDGE OF LANDSCAPED/WOODED AREA
- ===== RETAINING WALL
- WS- WATER SERVICE & WELL
- S— SEPTIC LINE
- x 65.26 SPOT ELEVATION
- 55.8 12"CON PROMINENT CONIFEROUS TREE WITH ELEVATION, SIZE AND SPECIES
- 2-L TWO LIMBED
- CON CONIFEROUS
- ☆ LANDSCAPE LIGHTING
- BIT. CONC. BITUMINOUS CONCRETE
- OC ON CONCRETE
- FF MET FINISHED METAL FLOOR
- T.O.F. TOP OF FOUNDATION
- LS LANDSCAPED AREA
- EOP EDGE OF PAVEMENT
- EOG EDGE OF GRAVEL
- 48.9 WF A221 LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION
- 46.4 MAHW 118 MEAN ANNUAL HIGH WATER WITH FLAG NUMBER AND ELEVATION
- △ APPROXIMATE LIMIT OF FEMA FLOOD ZONE
- ▽ APPROXIMATE LIMIT OF 75' NO BUILD BUFFER ZONE
- ▽ APPROXIMATE LIMIT OF 100' FLOOD ZONE BUFFER ZONE
- LIMIT OF 25' NO DISTURB BUFFER ZONE
- LIMIT OF 75' NO BUILD BUFFER ZONE
- LIMIT OF 100' BUFFER ZONE
- LIMIT OF 100' INNER RIPARIAN ZONE
- RA LIMIT OF 200' RIVERFRONT AREA
- 50' CONTOUR - LIMIT OF CONSERVANCY DISTRICT
- ▽ APPROXIMATE LIMIT OF NHESP PRIORITY HABITAT PH 1999
- LIMIT OF BROOK (SEE NOTE 8)
- ⊙ TYPICAL SHRUB



ASSESSORS:

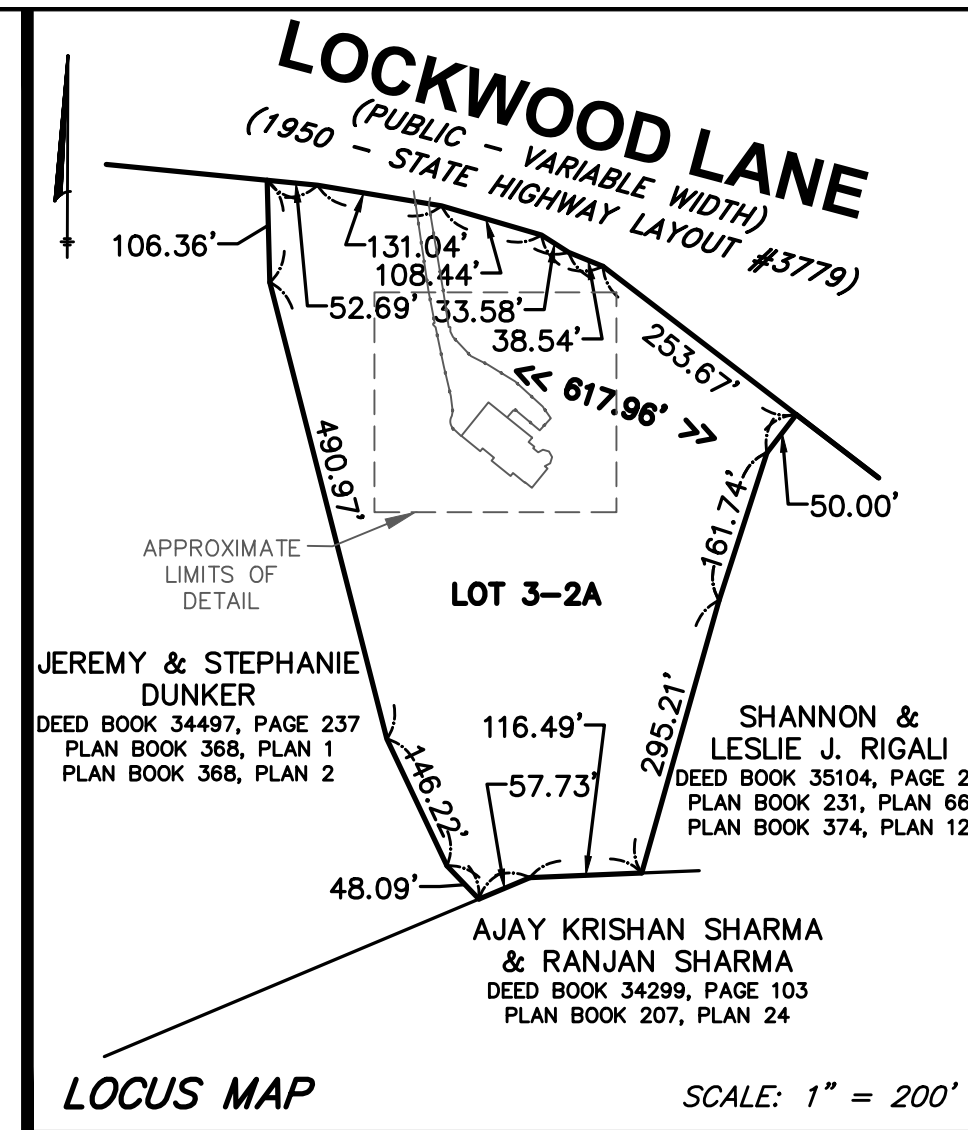
MAP 37, BLOCK 1, LOT 77.2

REFERENCES:

- DEED BOOK 41254, PAGE 488
PLAN BOOK 374, PLAN 12
- A PLAN ENTITLED "SEWAGE DISPOSAL SYSTEM SITE PLAN", DATED 9/11/01, AS REVISED 4/15/02, PREPARED BY HANCOCK SURVEY ASSOCIATES, INC.
- A PLAN ENTITLED "AS-BUILT PLAN FOR PRESSURE DOSING SEWAGE DISPOSAL SYSTEM", DATED 8/10/06, PREPARED BY HANCOCK SURVEY ASSOCIATES, INC.

RECORD OWNER:

AUDAI COTE



**65
LOCKWOOD
LANE**

Boxford, Massachusetts 01921

PREPARED FOR:

AUDAI COTE

65 Lockwood Lane
Boxford, MA 01921

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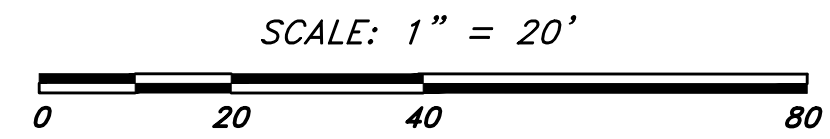
SHANNON & LESLIE J. RIGALI
DEED BOOK 35104, PAGE 29
PLAN BOOK 231, PLAN 66
PLAN BOOK 374, PLAN 12

**TOPOGRAPHIC
PLAN OF LAND
IN
BOXFORD, MA**

DATE: 5/12/23
SCALE: 1"=20'
APPVD BY: MTC
DRAWN BY: JAH
CHECK BY: SRJ

DWG: 26730T1.dwg
LAYOUT: TOPO
SHEET: 1 OF 1
PROJECT NO.: 26730

ELEVATION BENCH MARKS		
DATUM: N.G.V.D. OF 1929		
NO.	DESCRIPTION	ELEV.
1.	U. POLE 20/15 - SPIKE SET - 1.0' A.G.	61.82'
2.	U. POLE 1039/18 - SPIKE SET - 1.0' A.G.	59.96'
3.		



65 LOCKWOOD LANE

Boxford, Massachusetts 01921

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APPRVD. BY:	MTC	CHECK BY:	KMF	

SITE PLAN

SHANNON & LESLIE J. RIGALI
DEED BOOK 35104, PAGE 29
PLAN BOOK 231, PLAN 66
PLAN BOOK 374, PLAN 12

PLOT DATE: May 17, 2023 9:19 am
PATH: P:\Gis\20 Projects\26730-Cole-Boxford\Eng\

DWG: 26730psp.dwg

LAYOUT: SP

SHEET: 3 OF 5

PROJECT NO.: 26730

C-2

REGULATORY NOTES

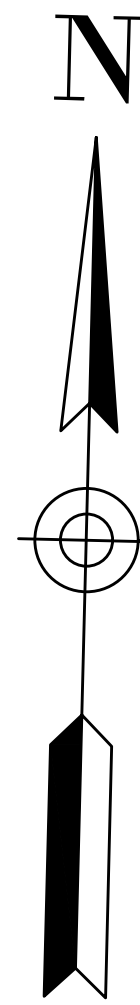
- CONTRACTOR SHALL CONTACT "DIG-SAFE" FOR AN UNDERGROUND UTILITY MARKING AT 811 AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK OUTSIDE OF THE BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF THE BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
- THIS PLAN SHALL ACCOMPANY A NOTICE OF INTENT FILED WITH THE BOXFORD CONSERVATION COMMISSION AND THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (MA DEP).
- CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
- LIMIT OF BORDERING VEGETATIVE WETLANDS, MEAN ANNUAL HIGH WATER AND ASSOCIATED BUFFER ZONES SHOWN HEREON ARE FROM A PLAN ENTITLED "SEWAGE DISPOSAL SYSTEM SITE PLAN", DATED 9/11/01, AS REVISED 4/15/02, PREPARED BY HANCOCK SURVEY ASSOCIATES, INC.
- SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- ALL SITE CONSTRUCTION SHALL COMPLY WITH THE BOXFORD DEPARTMENT OF PUBLIC WORKS STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND / OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
- ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
- THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SUBSURFACE DRAINAGE TO PREVENT INTERIOR FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
- PROPOSED BUILDING FOUNDATION CONFIGURATION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE VERIFIED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS AND ZONING ORDINANCES PRIOR TO CONSTRUCTION.
- A PORTION OF THE PREMISES IS LOCATED IN THE SPECIAL FLOOD HAZARD AREA (ZONE A- NO BASE FLOOD ELEVATION DETERMINED). ALSO A PORTION OF THE SOUTHWESTERLY CORNER OF THE PREMISES IS IN FLOOD ZONE AE (FLOOD ELEVATION BETWEEN 46FT-47FT NAVD 88) AND FLOOD ZONE X (0.2% ANNUAL CHANCE FLOOD HAZARD). FLOOD ZONES AS SHOWN ON FLOOD INSURANCE RATE MAP 25009C0263F, BEARING AN EFFECTIVE DATE OF JULY 3, 2012. LIMIT OF FLOOD ZONES SHOWN HEREON ARE APPROXIMATE AND BASED ON MASS MAPPER GIS (MASS GIS).
- CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER.
- LIMIT OF THE NATIONAL HERITAGE ENDANGERED SPECIES PROGRAM (NHESP) PRIORITY HABITAT PH 1999 IS APPROXIMATE AND BASED ON MASS MAPPER GIS (MASS GIS).
- LIMIT OF 50' CONSERVANCY DISTRICT AND EDGE OF BROOK REFERENCE PLAN BOOK 374, PLAN 12.

LOCKWOOD LANE

(PUBLIC - VARIABLE WIDTH)
(1950 - STATE HIGHWAY LAYOUT #3779) #20/15



ZONING TABLE

RESIDENCE-AGRICULTURAL DISTRICT	REQUIRED	EXISTING	PROPOSED
ITEM	87,120 SF	265,757 SF	265,757 SF
MIN. LOT AREA	250 FT	618 FT	618 FT
MIN. LOT FRONTAGE	200 FT	231 FT	231 FT
MIN. LOT WIDTH	50 FT	177 FT	177 FT
FRONT YARD SETBACK	25 FT	153 FT	136 FT
SIDE YARD SETBACK	25 FT	383 FT	327 FT
REAR YARD SETBACK	35 FT	<35 FT	<35 FT
MAX. STRUCTURE HEIGHT	25%	1.5%	1.9%
MAX. LOT COVERAGE			

- TOWN OF BOXFORD CHAPTER 196, ZONING: ARTICLE VI, DEVELOPMENT REGULATIONS
- POND WATERSHED OVERLAY DISTRICT

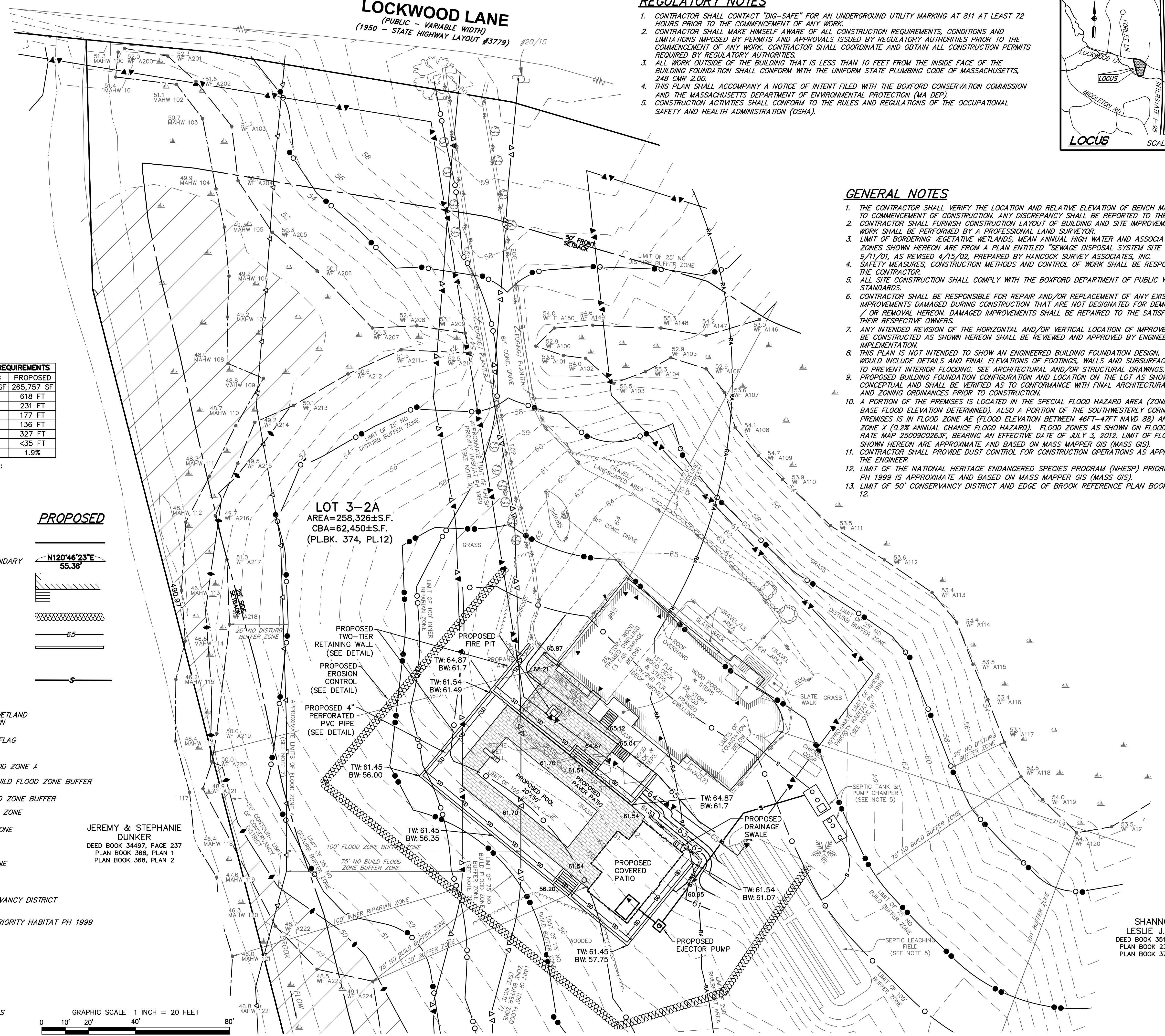
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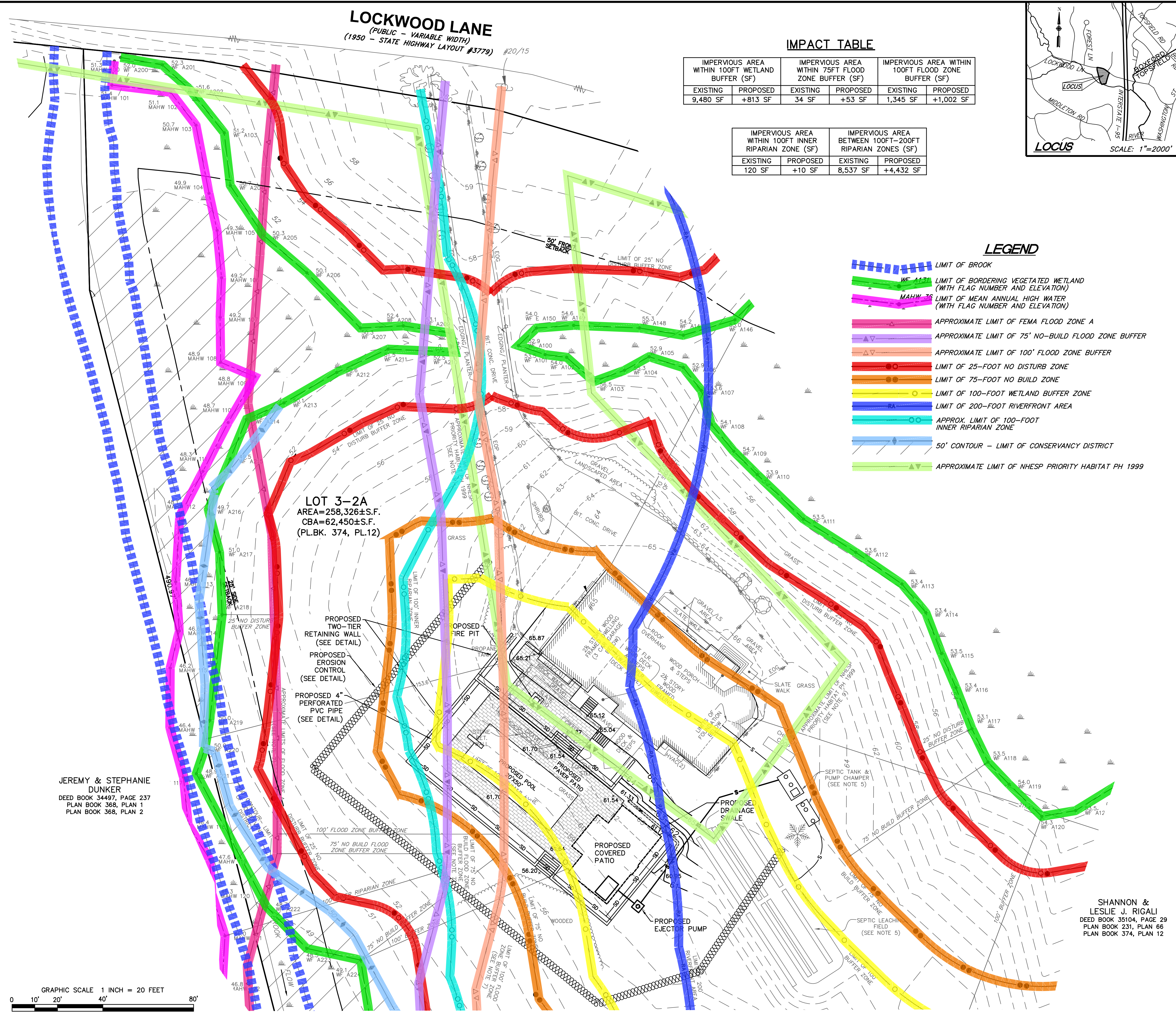
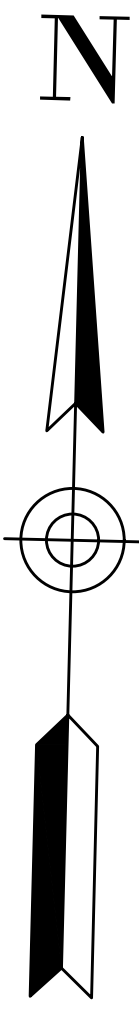
EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
BEARING & DISTANCE ALONG BOUNDARY N120°46'23"E 55.36'	BEARING & DISTANCE ALONG BOUNDARY N120°46'23"E 55.36'
BUILDING FOUNDATION	BUILDING FOUNDATION
EROSION CONTROL	EROSION CONTROL
SURFACE CONTOUR	SURFACE CONTOUR
STONE RETAINING WALL	STONE RETAINING WALL
WATER SERVICE & WELL	SEPTIC LINE
SEPTIC LINE	SEPTIC LINE
LIMIT OF BROOK	LIMIT OF BROOK
LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION 51.2 WFA24	MEAN ANNUAL HIGH WATER WITH FLAG NUMBER AND ELEVATION 48.5 WFAA22
MEAN ANNUAL HIGH WATER WITH FLAG NUMBER AND ELEVATION 48.5 WFAA22	APPROXIMATE LIMIT OF FEMA FLOOD ZONE A
APPROXIMATE LIMIT OF FEMA FLOOD ZONE A	APPROXIMATE LIMIT OF 75' NO-BUILD FLOOD ZONE BUFFER
APPROXIMATE LIMIT OF 75' NO-BUILD FLOOD ZONE BUFFER	APPROXIMATE LIMIT OF 100' FLOOD ZONE BUFFER
APPROXIMATE LIMIT OF 100' FLOOD ZONE BUFFER	LIMIT OF 25' NO-DISTURB BUFFER ZONE
LIMIT OF 25' NO-DISTURB BUFFER ZONE	LIMIT OF 75' NO-BUILD BUFFER ZONE
LIMIT OF 75' NO-BUILD BUFFER ZONE	LIMIT OF 100' BUFFER ZONE
LIMIT OF 100' BUFFER ZONE	LIMIT OF 100' INNER RIPARIAN ZONE
LIMIT OF 100' INNER RIPARIAN ZONE	LIMIT OF 200' RIVERFRONT AREA
LIMIT OF 200' RIVERFRONT AREA	50' CONTOUR - LIMIT OF CONSERVANCY DISTRICT
50' CONTOUR - LIMIT OF CONSERVANCY DISTRICT	APPROXIMATE LIMITS OF NHESP PRIORITY HABITAT PH 1999
APPROXIMATE LIMITS OF NHESP PRIORITY HABITAT PH 1999	EDGE OF WOODED AREA
EDGE OF WOODED AREA	EDGE OF GRAVEL
EDGE OF GRAVEL	EDGE OF PAVEMENT
EDGE OF PAVEMENT	BIT. CONC. BITUMINOUS CONCRETE
BIT. CONC. BITUMINOUS CONCRETE	PVC POLYVINYL CHLORIDE PIPE
PVC POLYVINYL CHLORIDE PIPE	PROMINENT CONIFEROUS TREE WITH ELEVATION, SIZE AND SPECIES 96.8 18'P
PROMINENT CONIFEROUS TREE WITH ELEVATION, SIZE AND SPECIES 96.8 18'P	TYPICAL SHRUB
TYPICAL SHRUB	SPOT ELEVATION 92.6
SPOT ELEVATION 92.6	

GRAPHIC SCALE 1 INCH = 20 FEET
0 10' 20' 40' 80'

LOT 3-2A
AREA=258,326±S.F.
CBA=62,450±S.F.
(PL.BK. 374, PL.12)

JEREMY & STEPHANIE DUNKER
DEED BOOK 34497, PAGE 237
PLAN BOOK 368, PLAN 1
PLAN BOOK 368, PLAN 2



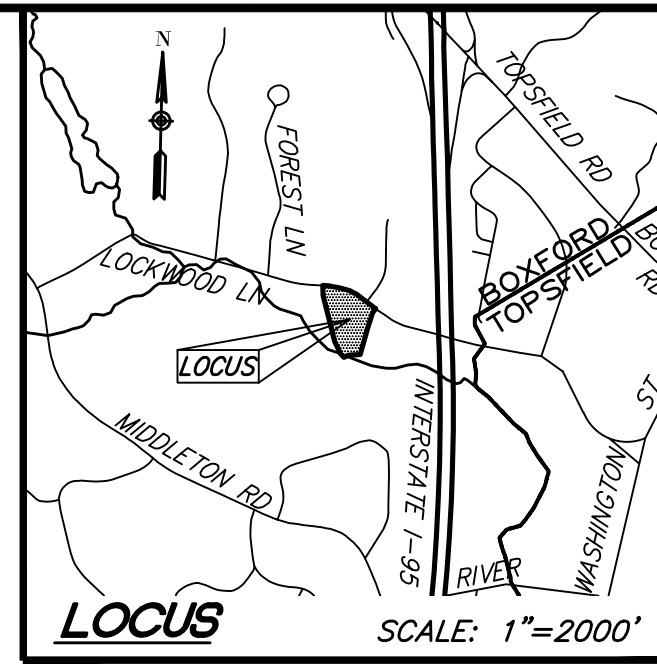


LOCKWOOD LANE
(PUBLIC - VARIABLE WIDTH)
(1950 - STATE HIGHWAY LAYOUT #3779) #20/15

IMPACT TABLE

IMPERVIOUS AREA WITHIN 100FT WETLAND BUFFER (SF)		IMPERVIOUS AREA WITHIN 75FT FLOOD ZONE BUFFER (SF)		IMPERVIOUS AREA WITHIN 100FT FLOOD ZONE BUFFER (SF)	
EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
9,480 SF	+813 SF	34 SF	+53 SF	1,345 SF	+1,002 SF

IMPERVIOUS AREA WITHIN 100FT INNER RIPARIAN ZONE (SF)		IMPERVIOUS AREA BETWEEN 100FT-200FT RIPARIAN ZONES (SF)	
EXISTING	PROPOSED	EXISTING	PROPOSED
120 SF	+10 SF	8,537 SF	+4,432 SF



65 LOCKWOOD LANE

Boxford, Massachusetts 01921

ASSESSORS:

MAP	BLOCK	LOT
37	01	77.2

PREPARED FOR:
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Boxford, Massachusetts, 01921

HANCOCK ASSOCIATES

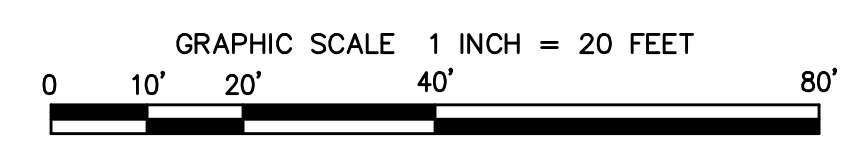
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LOT 3-2A
AREA=258,326±S.F.
CBA=62,450±S.F.
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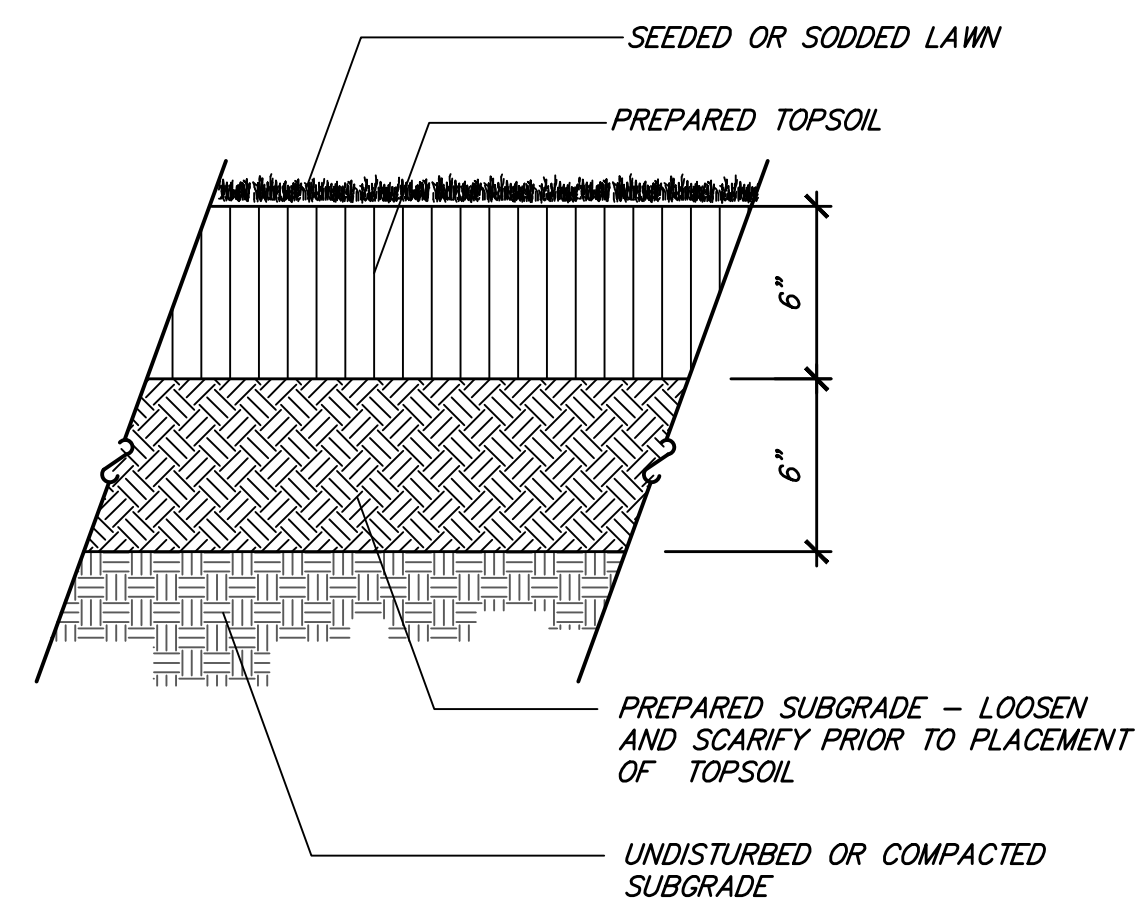
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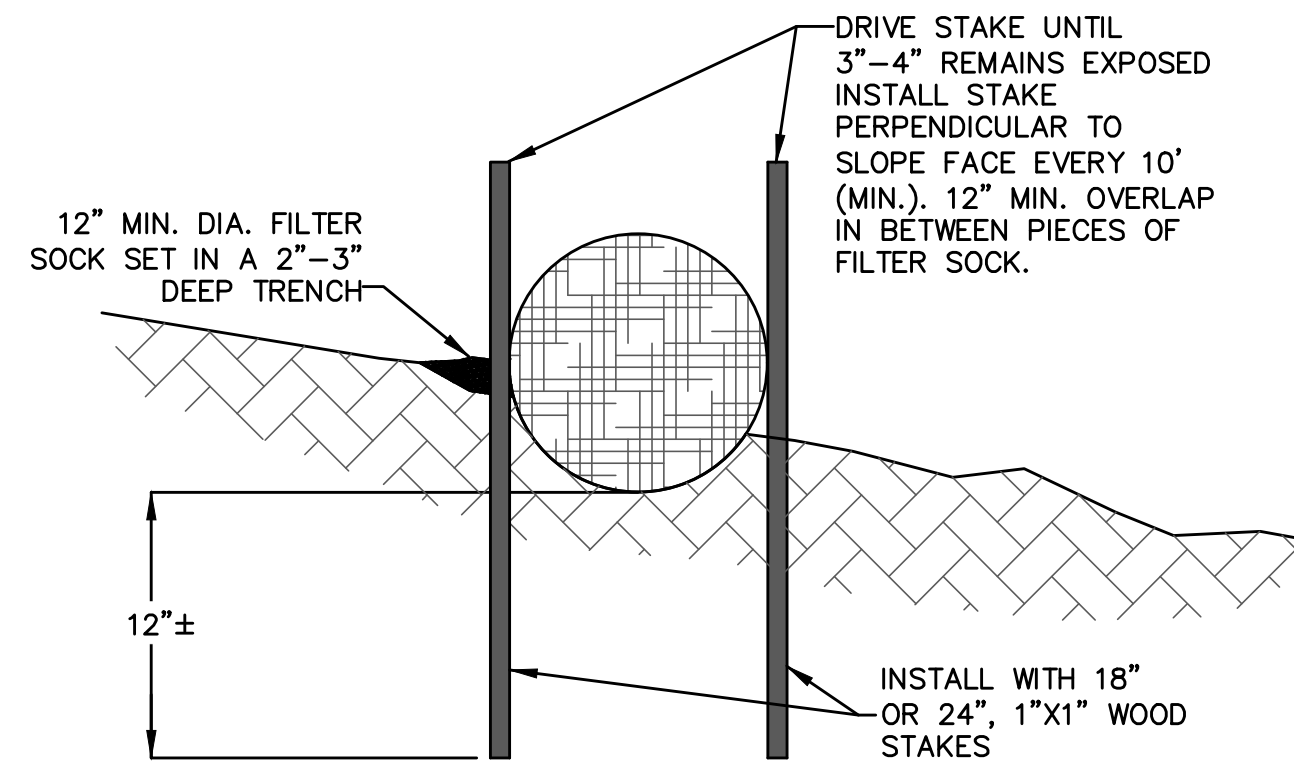
RESOURCE AREA PLAN

PLOT DATE: May 17, 2023 9:14 am
PATH: P:\Civil 3D Projects\26730-Cole-Boxford\Eng\

DWG: 26730psp.dwg	C-3
LAYOUT: RA	
SHEET: 4 OF 5	
PROJECT NO.: 26730	

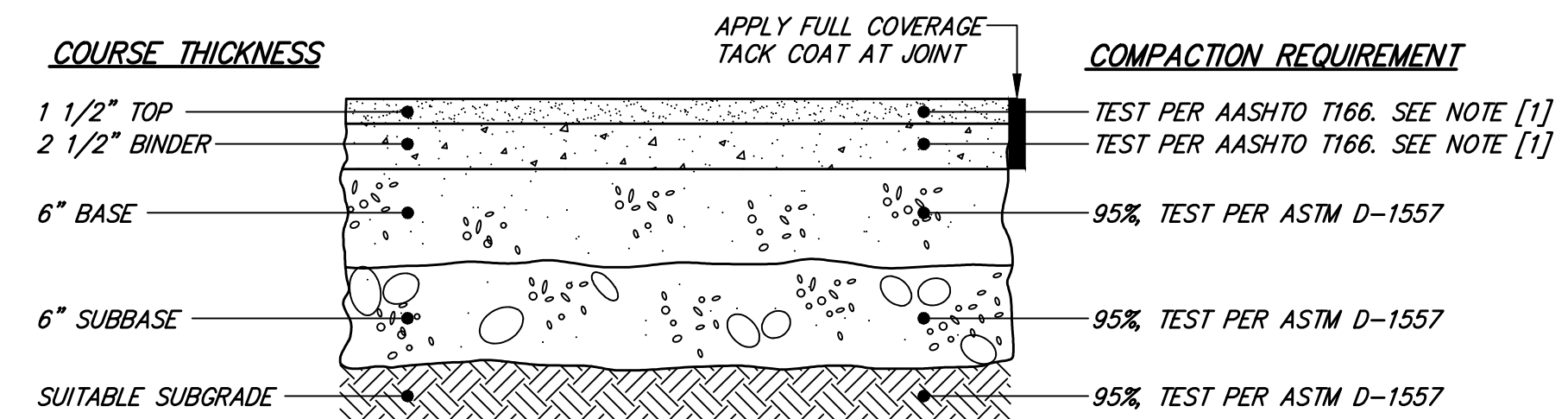


1 LOAM AND SEED
NOT TO SCALE



NOTES:
 1. SOCK SIZE DEPICTED IS FOR GENERAL USE. GREATER SLOPES MAY REQUIRE LARGER SOCK.
 2. COMPOST MATERIAL MAY BE DISPERSED ON SITE AT THE DISCRETION OF THE APPROVING AUTHORITY.
 3. PRIOR TO SETTING THE SOCK REMOVE LOOSE LITTER, BRANCHES AND OTHER MATERIAL THAT MAY PREVENT THE SOCK FROM DIRECT CONTACT WITH SOIL.

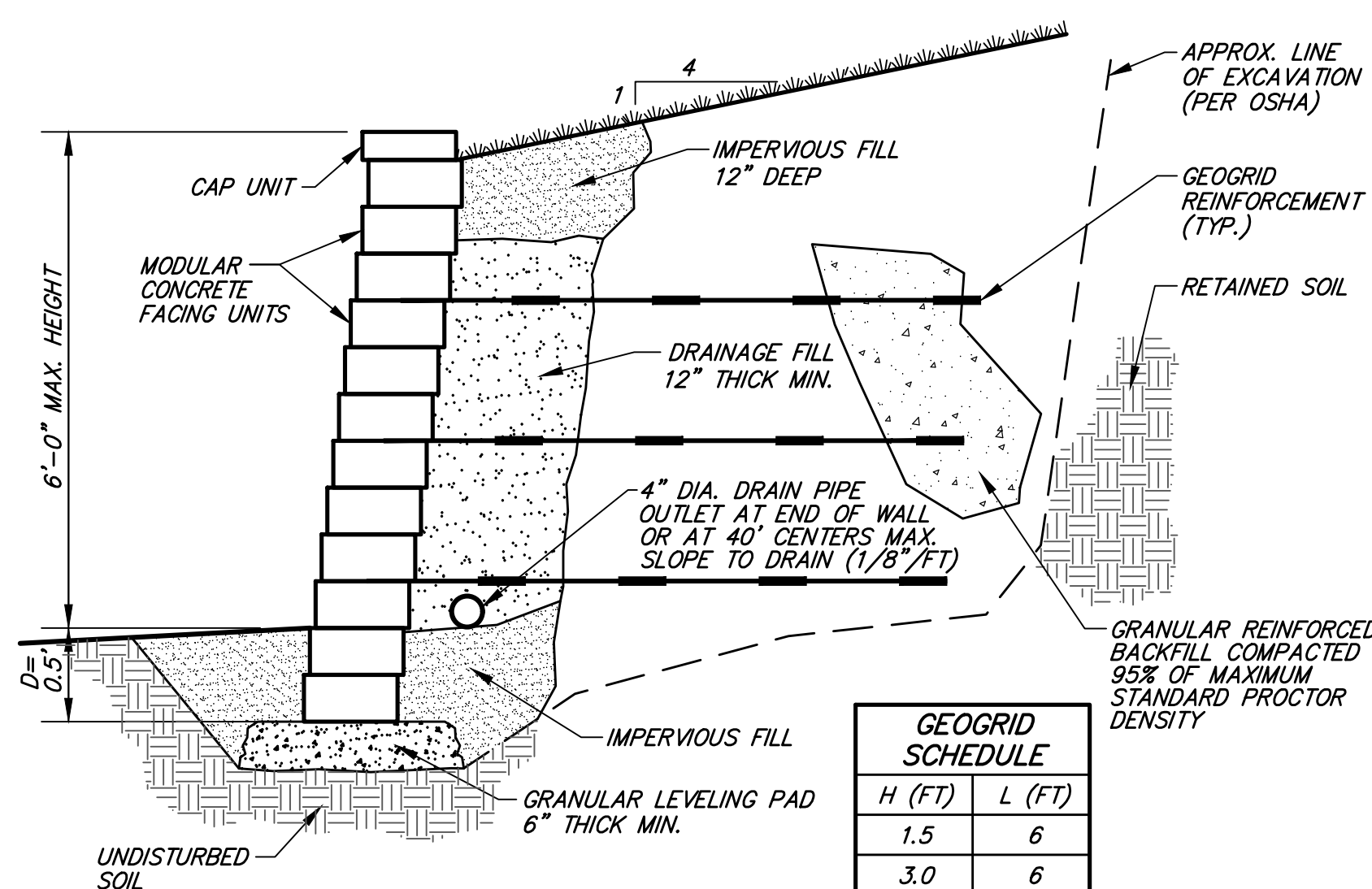
2 WATTLE
NOT TO SCALE



NOTES:
 [1] COMPACT TO TEST AVERAGE OF 95% ±2.5%

MATERIAL	SPECIFICATION	MAXIMUM AGGREGATE OR PARTICLE SIZE (IN.)
TOP - BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1/2
BINDER- BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1
BASE - DENSE GRADED CRUSHED STONE	MHD M2.01.7	1 1/2
SUBBASE - GRAVEL BORROW	MHD M1.03.0 TYPE C	2

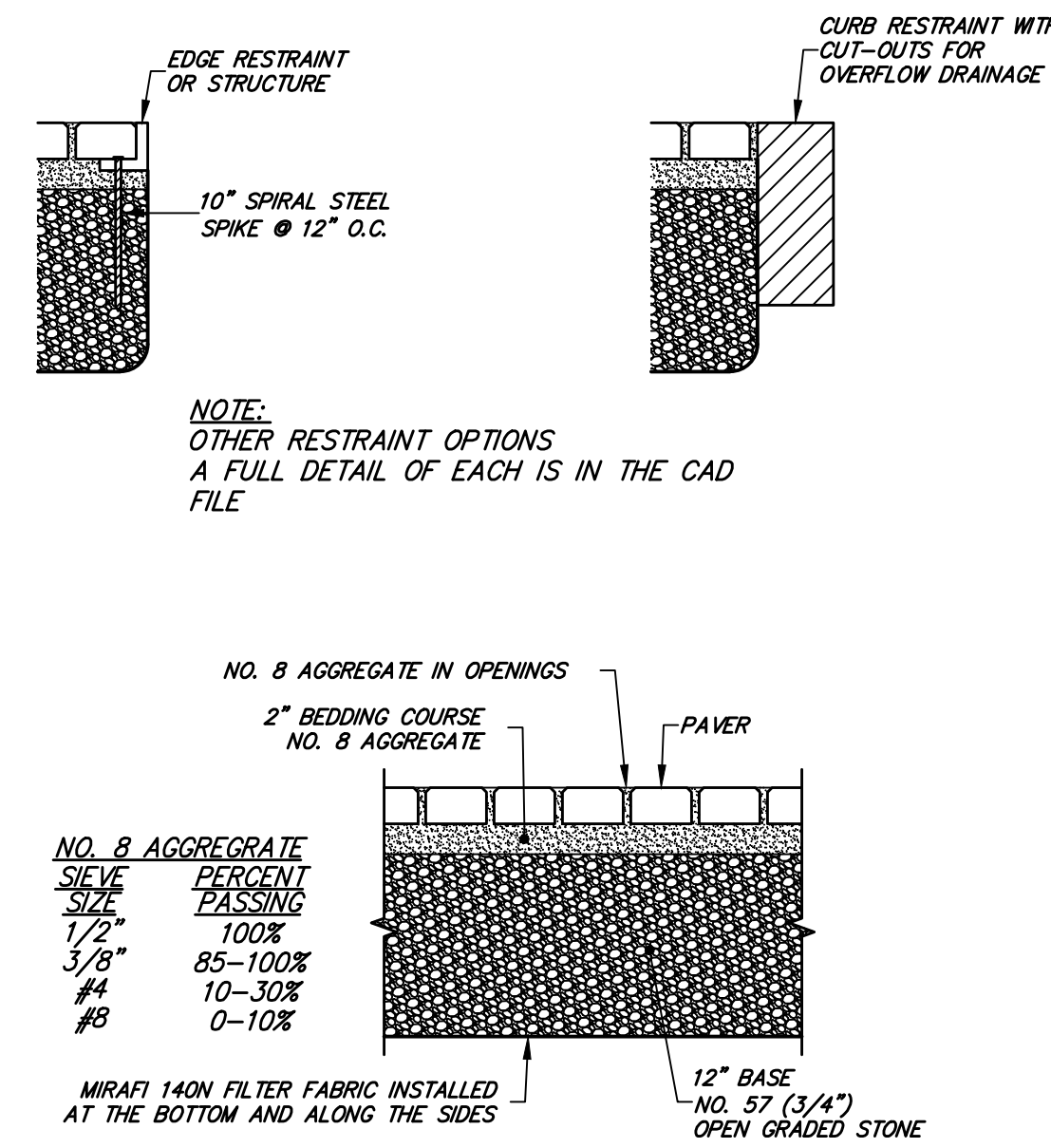
3 BITUMINOUS CONCRETE PAVEMENT
TYPICAL CROSS SECTION
NOT TO SCALE



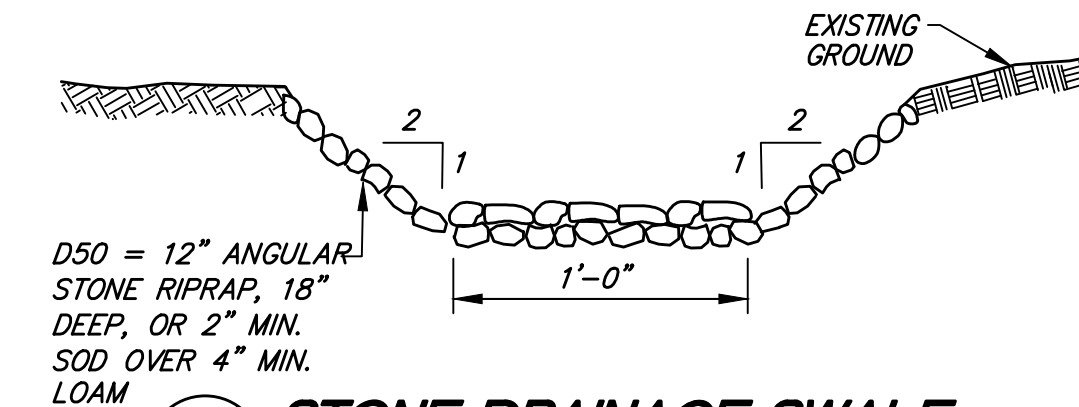
GEOGRID SCHEDULE		
H (FT)	L (FT)	
1.5	6	
3.0	6	
4.5	6	

* GEOGRID SHALL HAVE A MINIMUM LTDS=1,250 LB/FT.

4 MODULAR-BLOCK REINFORCED RETAINING WALL
NOT TO SCALE



5 PERVIOUS PAVER DETAIL
TYPICAL CROSS SECTION
NOT TO SCALE



6 STONE DRAINAGE SWALE
NOT TO SCALE

65 LOCKWOOD LANE

Boxford, Massachusetts 01921

ASSESSORS:

MAP	BLOCK	LOT
37	01	77.2

PREPARED FOR:

AUDAI COTE

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DETAIL PAGE

PLOT DATE: May 15, 2023 12:10 pm
PATH: F:\Gis\20 Projects\26730-Cole-Boxford\Eng\

DWG: 26730psp.dwg

LAYOUT: DETAIL

SHEET: 5 OF 5

PROJECT NO.: 26730

C-4