

TOWN OF
BOXFORD

THE CENTER
AT 10 ELM
COMMUNITY/
SENIOR CENTER

10 ELM STREET
BOXFORD, MA 01921

DESIGN DEVELOPMENT SET

12/22/2020

DRAWING INDEX					
		50 SET 9/24/2020	100 SET 12/22/2020	Release 3 DATE	Release 4 DATE
GENERAL					
G0.0	COVER SHEET	X	X		
G0.1	CODE ANALYSIS LOCUS MAP GENERAL NOTES ABBREVIATIONS				
G0.2	BUILDING AXONS	X	X		
G0.3	BUILDING AXONS	X	X		
CIVIL					
C-100	CIVIL NOTES & ABBREVIATIONS	X	X		
C-200	CIVIL EROSION CONTROL PLAN	X	X		
C-300	CIVIL LAYOUT PLAN	X	X		
C-400	CIVIL GRADING PLAN	X	X		
C-500	CIVIL UTILITY PLAN	X	X		
C-600	CIVIL DETAILS I	X	X		
C-601	CIVIL DETAILS II	X	X		
C-602	CIVIL DETAILS III	X	X		
C-603	CIVIL DETAILS IV	X	X		
C-605	CIVIL DETAILS VI		X		
C-606	CIVIL DETAILS VII		X		
LANDSCAPE					
L1.0	PLANTING PLAN	X	X		
ARCHITECTURAL					
AD1.1	FIRST AND SECOND FLOOR DEMOLITION PLANS	X	X		
A1.1	FIRST FLOOR PLAN	X	X		
A1.2	SECOND FLOOR/ ATTIC PLAN	X	X		
A1.3	ROOF PLAN	X	X		
A2.1	FIRST AND SECOND FLOOR REFLECTED CEILING PLAN	X	X		
A3.1	SOUTH AND EAST ELEVATIONS	X	X		
A3.2	NORTH AND WEST ELEVATIONS	X	X		
A5.1	ENLARGED KITCHEN PLANS AND ELEVATIONS	X	X		
A5.2	ENLARGED TOILET ROOMS PLANS AND ELEVATIONS	X	X		
A6.1	BUILDING SECTIONS	X	X		
A11.1	FIRST FLOOR FURNITURE PLAN	X	X		
STRUCTURAL					
S1.1	FOUNDATION PLAN	X	X		
S1.3	ROOF FRAMING PLAN	X	X		
S2.0	PROGRAM OF SPECIAL INSPECTIONS	X	X		
S2.1	GENERAL NOTES	X	X		
S2.2	TYPICAL CONCRETE SECTIONS AND DETAILS	X	X		
S2.3	TYPICAL FRAMING SECTIONS AND DETAILS	X	X		
S4.1	FOUNDATION SECTIONS AND DETAILS	X	X		
FIRE PROTECTION					
FPO.1	FIRE PROTECTION LEGEND, SCHEDULES, & DETAILS	X	X		
FPO.2	FIRE PROTECTION DETAILS	X	X		
FPI.1	REFLECTIVE CEILING PLANS - FIRE PROTECTION	X	X		
PLUMBING					
PO.1	PLUMBING LEGEND SCHEDULES & DETAILS	X	X		
P1.0	UNDERGROUND PLAN - PLUMBING	X	X		
P1.1	FIRST FLOOR PLAN - PLUMBING	X	X		
P1.2	ROOF PLAN PLUMBING		X		
MECHANICAL					
M1.1	FIRST FLOOR PLAN - HVAC	X	X		
M1.2	ATTIC FLOOR PLAN - HVAC	X	X		
M1.3	ROOF PLAN - HVAC		X		
M2.1	EQUIPMENT SCHEDULES- HVAC		X		
M2.2	EQUIPMENT DETAILS I- HVAC		X		
M2.3	EQUIPMENT CONTROLS I- HVAC		X		
V51.1	VIBRATION 7 SEISMIC DETAILS I		X		
ELECTRICAL					
E0.1	ELECTRICAL SYMBOL LIST	X	X		
E0.2	LIGHTING FIXTURE SCHEDULE	X	X		
E0.3	ELECTRICAL SITE PLAN	X	X		
E0.4	ELECTRICAL SITE DETAILS I	X	X		
E0.5	ELECTRICAL SITE DETAILS II	X	X		
E1.1	FIRST FLOOR PLAN - LIGHTING	X	X		
E1.2	SECOND FLOOR PLAN - LIGHTING	X	X		
E2.1	FIRST FLOOR PLAN - POWER	X	X		
E2.2	SECOND FLOOR PLAN - POWER	X	X		
E2.3	ELECTRICAL ROOF PLAN - POWER	X	X		
E2.4	LIGHTNING PROTECTION DETAILS	X	X		
E3.0	ONE LINE POWER RISER	X	X		
E3.1	ELECTRICAL DETAILS	X	X		
E3.2	MECHANICAL & PLUMBING SCHEDULES	X	X		
E4.0	FIRE ALARM RISER	X	X		
E4.1	FIRST FLOOR PLAN - FIRE ALARM	X	X		
E4.2	SECOND FLOOR PLAN - FIRE ALARM	X	X		
E5.0	SECURITY DETAILS & RISER	X	X		
E5.1	FIRST FLOOR PLAN - SECURITY	X	X		
T0.1	TECHNOLOGY SYMBOL LIST & DETAILS	X	X		
T1.1	FIRST FLOOR PLAN - TECHNOLOGY	X	X		
T2.0	TECHNOLOGY RISER DIAGRAM	X	X		
T2.1	TECHNOLOGY DETAILS	X	X		

GRLA PROJECT NUMBER:2020120.01

CLIENT:

TOWN OF BOXFORD
7A SPOFFORD RD.
BOXFORD, MA 01921
PHONE ###.###.#### FAX ###.###.####
www.company.com

ARCHITECT:

GORMAN RICHARDSON LEWIS ARCHITECTS
239 SOUTH STREET
HOPKINTON, MA 01748
PHONE 508.544.2600
www.grlarchitects.com

CIVIL ENGINEER:

NITSCH ENGINEERING
2 CENTER PLAZA, SUITE 430
BOSTON, MA 02108
PHONE 617.338.0063
www.nitscheng.com

LANDSCAPE ARCHITECT:

COSMOS ASSOCIATES
5 LONGVIEW STREET
NATICK, MA 01760
PHONE 508.654.6847
www.cosmosassociates.com

STRUCTURAL ENGINEER:

DESIMONE
60 MAN MAR DR., SUITE 2
PLAINVILLE, MA 02762
PHONE 508.384.0163
www.de-simone.com

MEP ENGINEER:

GGD CONSULTING ENG.
375 FAUNCE CORNER RD, SUITE D
DARTMOUTH, MA 02747
PHONE 508.998.5700
www.g-g-d.com

COST CONSULTANT:

ELLANA INC.
98 N. WASHINGTON
BOSTON, MA 02114
PHONE 857.233-4561
www.ellana.net

NEW OR REVISED ISSUE: X
NON REVISED ISSUE: --

G | R | L | A
Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

2020120.01 - TOWN OF BOXFORD THE CENTER AT 10 ELM COMMUNITY/ SENIOR CENTER - DESIGN DEVELOPMENT SET - 12/22/2020



1 SOUTH EAST VIEW
SCALE:



2 SOUTH WEST VIEW
SCALE:

THE CENTER
AT 10 ELM
COMMUNITY/
SENIOR CENTER

10 ELM STREET
BOXFORD, MA 01921

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

G | R | L | A

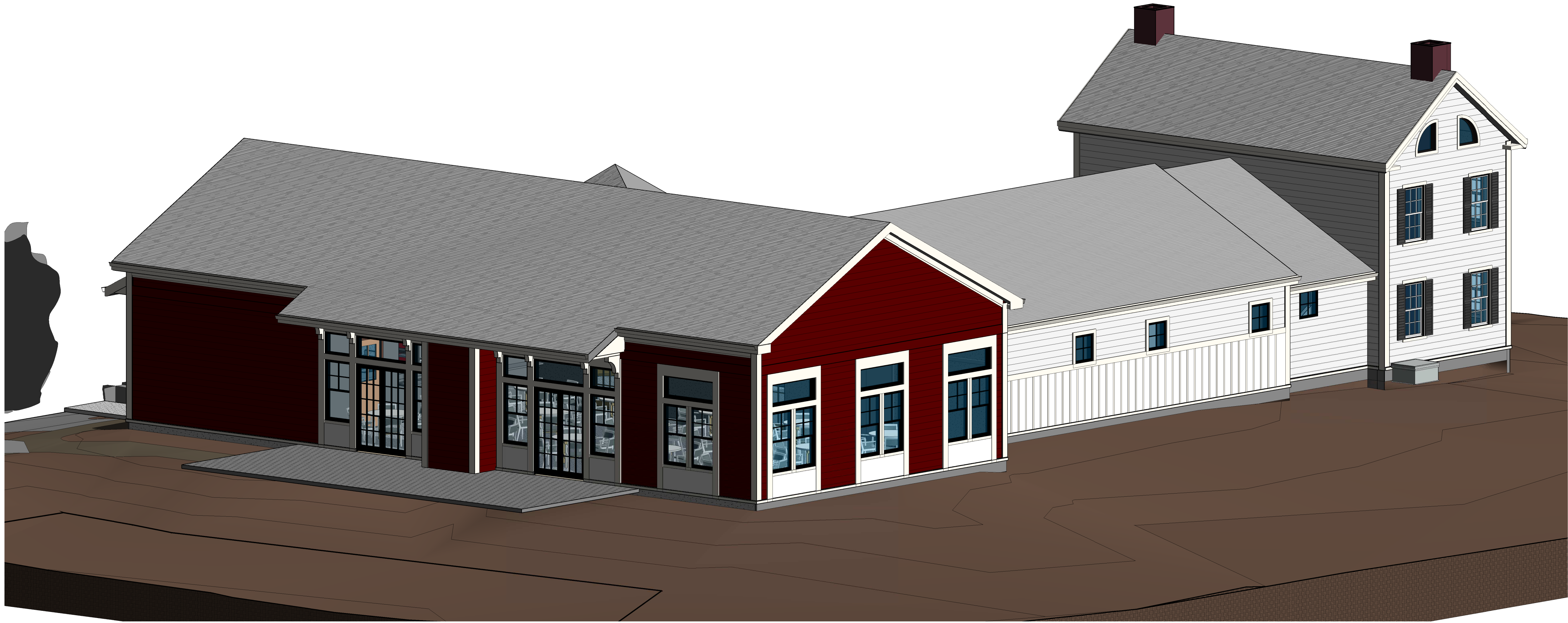
Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

© COPYRIGHT: 2020
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
APPEARING HEREIN SHALL REMAIN THE PROPERTY OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
AND SUCH IS NOT TO BE REPRODUCED, COPIED,
AND FOR NO DISSEMINATION OR OTHER USES
WITHOUT THE EXPRESS WRITTEN CONSENT OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT
INCLUDE, BUT NOT LIMITED TO, ERRORS, OMISSIONS,
INCONSISTENCIES, DESIGN CALCULATIONS AND DIMENSIONS,
OR DATA TRANSLATION, OR DATA TRANSLATION.

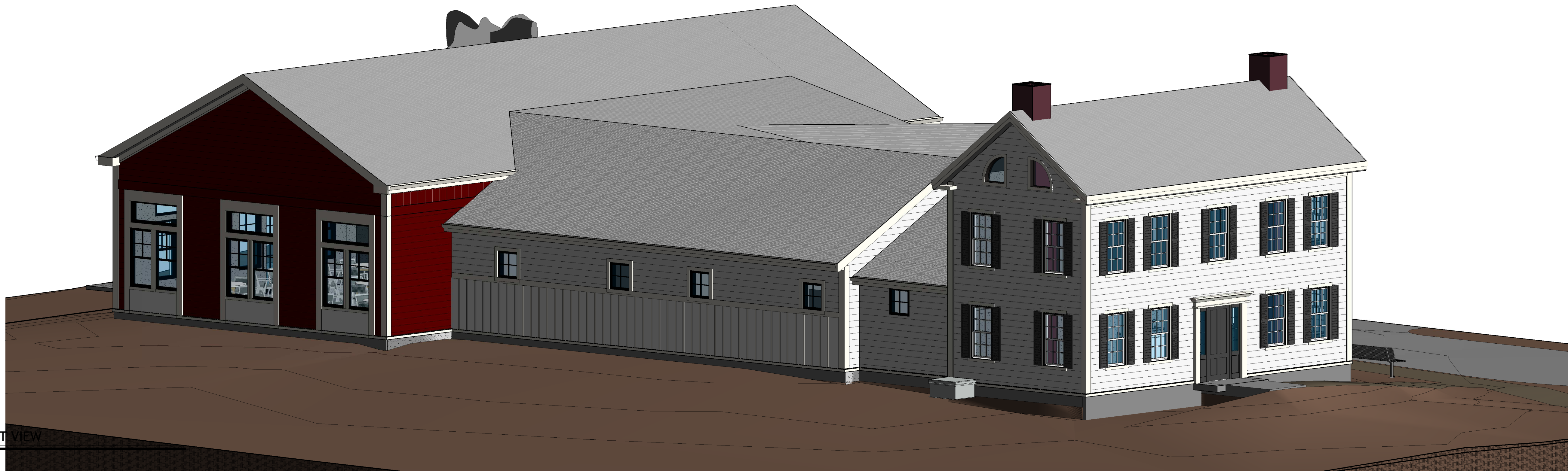
Date: 12/22/2020
Proj. No.: 2020120.01
Scale:
Drawn By: DS/JAW
Checked By: SR

BUILDING AXONS

G0.2



1 NORTH EAST VIEW
SCALE:



2 NORTH WEST VIEW
SCALE:

THE CENTER
AT 10 ELM
COMMUNITY/
SENIOR CENTER

10 ELM STREET
BOXFORD, MA 01921

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

© COPYRIGHT: 2020
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
APPEARING HEREIN SHALL REMAIN THE PROPERTY OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
AND SUCH IS NOT TO BE REPRODUCED OR USED
WITHOUT THE EXPRESS WRITTEN CONSENT OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT
INCLUDE, BUT NOT LIMITED TO, ERRORS, OMISSIONS,
AND/OR INACCURACIES IN CALCULATIONS AND DIMENSIONS,
OR IN THE DESIGN, OR DATA TRANSLATION.

Date: 12/22/2020
Proj. No.: 2020120.01
Scale:
Drawn By: DS/JAW
Checked By: SR

BUILDING AXONS

G0.3

DEMOLITION NOTES:

1. SITE PREPARATION AND DEMOLITION SHALL INCLUDE THOSE AREAS WITHIN THE LIMIT OF WORK LINE AS SHOWN ON THE CONTRACT DOCUMENTS.
2. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
3. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING DEMOLITION.
4. THE CONTRACTOR SHALL COORDINATE SITE DEMOLITION EFFORTS WITH ALL TRADES THAT MAY BE AFFECTED BY THE WORK.
5. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS REQUIRED TO FACILITATE CONSTRUCTION, AND LEGALLY DISPOSED OF OFFSITE BY CONTRACTOR.
6. UTILITY PIPES DESIGNATED TO BE ABANDONED IN PLACE SHALL BE PLUGGED AT THEIR ENDS WITH WATERTIGHT BRICK MASONRY OR CEMENT MORTAR WITH A MINIMUM THICKNESS OF 8 INCHES.
7. UTILITY PIPES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF THE ENTIRE LENGTH OF PIPE AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
8. UTILITY STRUCTURES DESIGNATED TO BE ABANDONED IN PLACE SHALL HAVE THEIR CAST IRON CASTINGS REMOVED AND DISPOSED, INLET AND OUTLET PIPES PLUGGED, THE BOTTOM OF THE STRUCTURES SHALL BE BROKEN, THE VOID OF THE STRUCTURES SHALL BE BACKFILLED AND COMPACTED TO 95% WITH ORDINARY BORROW OR FLOWABLE FILL, AND THE TOP OF THE STRUCTURE SHALL BE REMOVED SO THAT IT IS AT LEAST 36 INCHES BELOW FINISH GRADE.
9. UTILITY STRUCTURES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE REMOVAL AND DISPOSAL OF CAST IRON CASTINGS, PLUGGING OF INLET AND OUTLET PIPES, REMOVAL OF THE STRUCTURE, AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN HE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
10. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFFSITE.
11. AT ALL LOCATIONS WHERE EXISTING CURBING, CONCRETE PAVEMENT OR BITUMINOUS CONCRETE ROADWAY ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
12. EXTEND DESIGNATED LIMIT OF WORK AS NECESSARY TO ACCOMPLISH ROUGH GRADING, EROSION CONTROL, TREE PROTECTION, AND SITE WORK AS REQUIRED BY THESE DRAWINGS AND SPECIFICATIONS.
13. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL RUBBISH AND DEBRIS FOUND THEREON. STORAGE OF SUCH MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL LEAVE THE SITE IN SAFE, CLEAN, AND LEVEL CONDITION UPON COMPLETION OF THE SITE DEMOLITION WORK.
14. REMOVE AND STOCKPILE ALL EXISTING SITE LIGHTS, BENCHES, TRASH RECEPTACLES, TRAFFIC SIGNS, GRANITE CURB, AND OTHER SITE IMPROVEMENTS WITHIN LIMIT OF WORK LINE UNLESS OTHERWISE NOTED.
15. ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE TIME OF CONSTRUCTION, AS SPECIFIED AND DIRECTED BY THE LANDSCAPE ARCHITECT.
16. BEFORE ANY TREES OR SHRUBS ARE REMOVED, THE CONTRACTOR SHALL ARRANGE A CONFERENCE ON THE SITE WITH THE OWNER OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND SHRUBS THAT ARE TO BE REMOVED, AS WELL AS THOSE WHICH ARE TO BE PROTECTED. DO NOT COMMENCE CLEARING OPERATIONS WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.
17. THE CONTRACTOR SHALL REMOVE FROM THE AREA OF CONSTRUCTION PAVEMENT, CONCRETE, CURBING, POLES AND FOUNDATIONS, ISLANDS, TREE BERMS AND OTHER FEATURES WITHIN THE LIMITS OF CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION WHETHER SPECIFIED ON THE DRAWINGS OR NOT.

EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, AND THE CURRENT NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
2. MEANS OF EROSION AND SEDIMENT PROTECTION AS NOTED ON THE DRAWINGS INDICATE MINIMUM RECOMMENDED PROVISIONS. THE CONTRACTOR IS RESPONSIBLE FOR FINAL SELECTION AND PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS BASED ON ACTUAL SITE CONDITIONS AND CONSTRUCTION CONDITIONS. ADDITIONAL MEANS OF PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR CONTINUED OR UNFORESEEN EROSION PROBLEMS, OR AS DIRECTED BY CONTROLLING MUNICIPAL AUTHORITIES, AT NO ADDITIONAL EXPENSE TO THE OWNER.
3. AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.
4. SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND DURING ALL PHASES OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO AND IMMEDIATELY AFTER ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
5. AFTER ANY SIGNIFICANT RAINFALL (GREATER THAN 0.25 INCHES OF RAINFALL WITHIN 24 HOURS), SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGE SHALL BE CORRECTED IMMEDIATELY.
6. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT FROM ENTERING ANY STORM DRAINAGE SYSTEM AND FROM BEING CONVEYED TO ANY WETLAND RESOURCE AREA, PUBLIC WAYS, ABUTTING PROPERTY, OR OUTSIDE OF THE PROJECT LIMITS.
8. THE CONTRACTOR SHALL PROTECT ALL DRAINAGE SWALES AND GROUND SURFACES WITHIN THE LIMIT OF WORK FROM EROSION CONDITIONS. STRAW BALE, CRUSHED STONE OR EQUIVALENT CHECK DAMS ARE TO BE PROVIDED AT A MAXIMUM OF TWO HUNDRED (200) FOOT SPACING, OR LESS AS SITE-SPECIFIC CONDITIONS WARRANT, WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.
9. ALL STOCK PILES SHALL BE PROTECTED AND LOCATED A MINIMUM OF 100' FROM EXISTING WETLAND RESOURCE AREAS & WITHIN THE LIMIT OF WORK.
10. ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
11. ALL SEDIMENT RETAINED BY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LEGALLY DISPOSED OF OFFSITE.
12. TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS, AND ANY DENUEDED SURFACE THAT WILL BE EXPOSED FOR A PERIOD OF 14 CALENDAR DAYS OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE STABILIZED/PROTECTED WITH APPROPRIATE EROSION CONTROL MATTING OR OTHER EROSION CONTROL METHODS.
13. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS DIRECTED BY THE PERMITTING AUTHORITY OR OWNER.
14. THE CONTRACTOR SHALL USE TEMPORARY SEEDING, MULCHING, OR OTHER APPROVED STABILIZATION MEASURES TO PROTECT EXPOSED AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE. STOCKPILES THAT WILL BE EXPOSED FOR LONGER THAN 14 DAYS SHALL BE STABILIZED.
15. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION AND SEDIMENT CONTROLS AT THE COMPLETION OF SITE CONSTRUCTION, BUT ONLY WHEN DIRECTED BY THE TOWN OF BOXFORD CONSERVATION AGENT. STABILIZE OR SEED BARE AREAS LEFT AFTER EROSION CONTROL REMOVAL.

EARTH MOVING AND GRADING NOTES:

1. ALL TOPSOIL ENCOUNTERED WITHIN THE WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED BY THE OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.
2. GRADES WITHIN HANDICAP PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
3. CROSS SLOPES OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 1.5%.
4. RUNNING SLOPE OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 4.5%, UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR SHALL EXERCISE CAUTION IN ALL EXCAVATION ACTIVITY DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
6. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1% UNLESS OTHERWISE NOTED.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM FACE OF BUILDINGS AT ALL LOCATIONS.
8. PITCH EVENLY BETWEEN CONTOUR LINES AND BETWEEN SPOT GRADES. SPOT GRADE ELEVATIONS TAKE PRECEDENCE OVER CONTOUR LINES.
9. ALL PROPOSED TOP OF CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB ELEVATIONS UNLESS OTHERWISE NOTED. ALL PROPOSED TOP OF CAPE COD BERM ELEVATIONS ARE FOUR INCHES (4") ABOVE BOTTOM OF CURB ELEVATION UNLESS OTHERWISE NOTED.
10. THE CONTRACTOR SHALL BLEND NEW GRADING SMOOTHLY INTO EXISTING GRADING AT LIMITS OF GRADING.
11. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING PAVING WITH SMOOTH TRANSITION BETWEEN EXISTING AND NEW SURFACES.
12. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
13. PITCH TOPS OF ALL WALLS AT ONE-EIGHTH INCH (1/8") PER FOOT FROM BACK OF WALL TO FACE OF WALL.
14. SURPLUS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. REFER TO EARTHWORK SPECIFICATIONS.
15. ANY AREAS OUTSIDE OF THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THE PRE-CONSTRUCTION CONDITION/GRADE AT NO COST TO THE OWNER.
16. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.

GENERAL NOTES:

1. TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM A PLAN ENTITLED "EXISTING CONDITIONS SITE PLAN", PREPARED BY DONOHUE SURVEY, INC., DATED JULY 8, 2020.
2. FLOODPLAIN INFORMATION WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) NO. 25009C0261F. THE SITE IS IN ZONE X.
3. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
4. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, ALSO REFERRED TO AS JACKIE'S LAW, AS DETAILED IN SECTION 520 CMR 14.00 OF THE CODE OF MASSACHUSETTS REGULATIONS.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
6. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRESENCE AND LOCATIONS OF ALL UTILITIES WITHIN THE LIMIT OF WORK MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING THE CONTROLLING AUTHORITIES AND/OR UTILITY COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND NITSCH ENGINEERING. ANY DAMAGE RESULTING FROM THE FAILURE OF THE CONTRACTOR TO MAKE THESE DETERMINATIONS AND CONTACTS SHALL BE BORNE BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL, THROUGHOUT CONSTRUCTION, TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SIDEWALKS AND SITE DETAILS OUTSIDE OF THE LIMIT OF WORK AS DEFINED ON THE DRAWINGS AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE ANY SUCH OR OTHER DAMAGE SO CAUSED.
8. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
9. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATION IMMEDIATELY.
11. THE CONTRACTOR SHALL CONDUCT ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS.
12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ESTABLISHMENT AND USE OF ALL VERTICAL AND HORIZONTAL CONSTRUCTION CONTROLS.
13. ELEVATIONS REFER TO N.G.V.D, 1929.
14. FOR SOIL INFORMATION REFER TO GEOTECHNICAL REPORT.

UTILITY NOTES:

1. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE LOCAL MUNICIPALITY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS RELATED TO UTILITY WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMISSIONS FOR, AND FOR CONDUCTING ALL PREPARATIONS RELATED TO, WORK AFFECTING ANY UTILITIES WITHIN THE JURISDICTION OF ANY NON-MUNICIPAL UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, AND/OR GAS. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENTS, AND UTILITY COMPANIES, IN WRITING, AT LEAST 7 DAYS (OR PER UTILITY COMPANY REQUIREMENT) AND NOT MORE THAN 30 DAYS PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN UTILITIES SERVICING BUILDINGS AND FACILITIES WITHIN OR OUTSIDE THE PROJECT LIMIT UNLESS THE INTERRUPTION OF SERVICE IS COORDINATED WITH THE OWNER.
4. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
5. GAS, TELECOMMUNICATIONS AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS.
6. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES OF NEW UTILITIES WITH GAS, TELECOMMUNICATION AND ELECTRICAL SERVICES.
7. INSTALL WATER LINES WITH A MINIMUM OF FIVE FEET OF COVER AND A MAXIMUM OF SEVEN FEET COVER FROM THE FINAL DESIGN GRADES.
8. MAINTAIN 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION (WATER OVER SEWER) BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION AND 18 INCHES OF VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE TO REMAIN AND A PROPOSED OR EXISTING WATER LINE TO REMAIN BOTH WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE FOR A DISTANCE OF 10- FEET ON EITHER SIDE OF THE CROSSING. ONE (1) FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER AT THE CROSSING.
9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED AND/OR REMOVED & DISPOSED.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR GAS UTILITY SYSTEMS.
11. ALL ONSITE UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
12. ALL EXISTING AND PROPOSED MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, CASTINGS, ETC. SHALL BE RAISED TO FINISHED GRADE PRIOR TO FINAL GRADING AND PAVING CONSTRUCTION.
13. ALL GRATES IN WALKWAYS SHALL BE ADA COMPLIANT.

PROPOSED LEGEND

	LIMIT OF WORK
	EXISTING UTILITY TO BE ABANDONED, REMOVED AND DISPOSED IF IN CONFLICT WITH NEW SITE IMPROVEMENTS, OR AS INDICATED ON DRAWINGS
	EROSION CONTROL BARRIER
	CONSTRUCTION FENCE
	DOMESTIC WATER PIPE
	FIRE PROTECTION PIPE
	SANITARY SEWER PIPE
	STORM DRAIN PIPE
	GAS PIPE
	ELECTRIC DUCTBANK
	TELECOM DUCTBANK
	CHILLED WATER PIPE
	STEAM PIPE
	CONDENSATE RETURN PIPE
	HOT WATER PIPE/RETURN
	HEATING HOT WATER
	REUSE WATER PIPE
	GREY WATER PIPE
	FUTURE UTILITY, SHOWN FOR INFORMATION ONLY
	INLET PROTECTION
	ELEVATION CONTOURS
	MATCH LINE
	CENTERLINE
	CLEANOUT
	AREA DRAIN
	ACCESS BASIN
	DRAIN MANHOLE
	WATER QUALITY STRUCTURE
	CATCH BASIN
	DOUBLE CATCH BASIN
	WATER QUALITY INLET
	SEWER MANHOLE
	STEAM MANHOLE
	TELECOM MANHOLE
	ELECTRIC MANHOLE
	CHILLED WATER VALVE
	WATER VALVE
	FIRE HYDRANT
	TREE PROTECTION
	NUMBER OF PARKING SPOTS

ABBREVIATIONS

AB	ACCESS BASIN
AD	AREA DRAIN
BC	BOTTOM OF CURB ELEVATION
CB	CATCH BASIN
CCB	CAPE COD BERM
CI	CAST IRON
CJ	CONTROL JOINT
CL	CENTER LINE
CO	CLEANOUT
COP	CENTER OF PIPE
CP	CARRIER PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
DCB	DOUBLE CATCH BASIN
DI	DUCTILE IRON PIPE CEMENT LINED
DMH	DRAIN MANHOLE
EHH	ELECTRIC HANDHOLE
EJ	EXPANSION JOINT
EMH	ELECTRIC MANHOLE
FD	FOUNDATION DRAIN
FFE	FINISHED FLOOR ELEVATION
HP	HIGH POINT
HYD	FIRE HYDRANT
INV	INVERT ELEVATION
LF	LINEAR FEET
LOW	LIMIT OF WORK
LP	LOW POINT
LW	LAB WASTE
M&P	MAINTAIN AND PROTECT
NIC	NOT IN CONTRACT
OC	ON CENTER
OCS	OUTLET CONTROL STRUCTURE
PD	PERIMETER DRAIN
PERF	PERFORATED
PVC	POLYVINYL CHLORIDE PIPE
R&D	REMOVE AND DISPOSE OF
R&S	REMOVE AND STOCKPILE
RD	ROOF DRAIN
RIM	RIM ELEVATION
SMH	SEWER MANHOLE
SS	SEWER SERVICE
TC	TOP OF CURB ELEVATION
THH	TELECOM HANDHOLE
TMH	TELECOM MANHOLE
TOP	TOP OF PIPE
TOD	TOP OF DUCT BANK
TYP	TYPICAL
UD	UNDERDRAIN
USD	UNDERSLAB DRAIN
VGC	VERTICAL GRANITE CURB
WQI	WATER QUALITY INLET
WQS	WATER QUALITY STRUCTURE
WV	WATER VALVE

THE CENTER
AT 10 ELM
COMMUNITY/
STREET
SENIOR CENTER

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

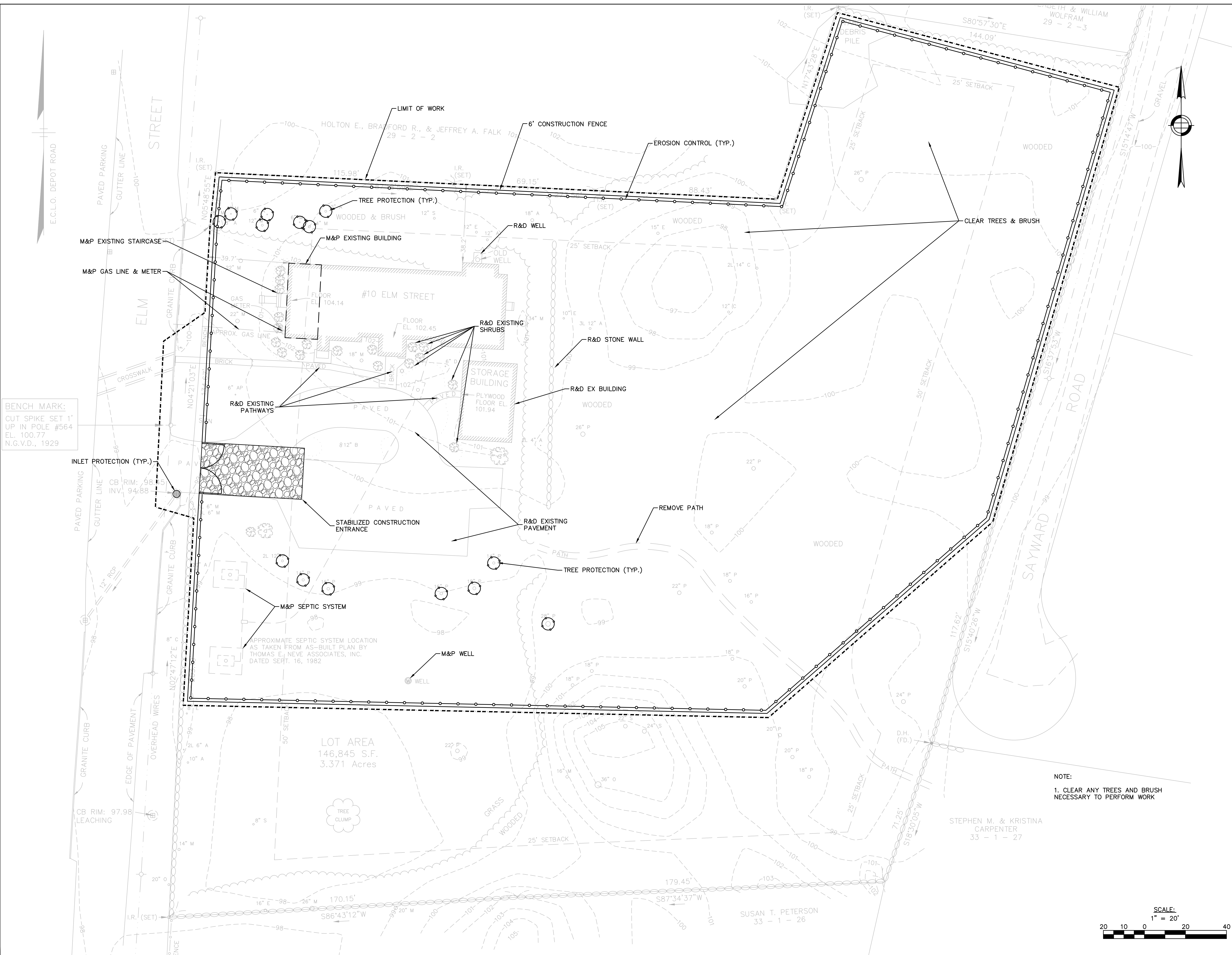
G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.griarchitects.com

© COPYRIGHT 2020
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS APPEARING HEREIN SHALL REMAIN THE PROPERTY OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC. AND AS SUCH IS NOT TO BE DUPLICATED IN ANY FORM OR DISCLOSED OR OTHERWISE USED WITHOUT THE EXPRESS WRITTEN CONSENT OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT INCLUDE BUT ARE NOT LIMITED TO, ERRORS AND OMISSIONS, DESIGN CALCULATIONS AND DIMENSIONS, DATA TRANSMISSION, OR DATA TRANSLATION.

Date: 12/21/2020
Proj. No.: 2020120.01
Scale: N.T.S.
Drawn By: BB
Checked By: DC

CIVIL NOTES &
ABBREVIATIONS



BENCH MARK:
CUT SPIKE SET 1'
UP IN POLE #564
EL. 100.77
N.G.V.D., 1929

NOTE:
1. CLEAR ANY TREES AND BRUSH
NECESSARY TO PERFORM WORK

THE CENTER AT 10 ELM COMMUNITY/ STREET SENIOR CENTER

TOWN OF BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.griarchitects.com

© COPYRIGHT 2020
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
APPEARING HEREIN SHALL REMAIN THE PROPERTY OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
AND AS SUCH IS NOT TO BE REPRODUCED OR
IN ANY FORM OR DISCLOSED OR OTHERWISE USED
WITHOUT THE EXPRESS WRITTEN CONSENT OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT
INCLUDE BUT ARE NOT LIMITED TO, ERRORS AND
OMISSIONS, DESIGN CALCULATIONS AND DIMENSIONS,
DATA TRANSMISSION, OR DATA TRANSLATION.

Date: 12/21/2020
Proj. No.: 2020120.01
Scale: 1" = 20'-0"
Drawn By: BB
Checked By: DC

CIVIL EROSION CONTROL PLAN

C-200

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	1.00	S88°55'09"E
L2	37.04	N45°31'31"E
L3	27.85	S87°00'50"E
L4	34.58	S42°01'28"E
L5	4.10	S47°59'10"W
L6	3.50	S2°59'10"W
L8	23.16	N87°00'50"W
L9	3.39	N87°00'50"W
L11	3.50	N2°59'10"E
L12	13.00	S2°59'10"W
L13	4.03	S87°00'50"E
L14	15.00	N2°59'10"E
L15	135.00	S87°00'50"E
L16	15.00	S2°59'10"W
L17	6.50	S87°00'50"E

LINE TABLE		
LINE #	LENGTH	DIRECTION
L18	19.50	S87°00'50"E
L19	22.00	S2°59'10"W
L20	19.50	N87°00'50"W
L21	6.50	N87°00'50"W
L23	15.00	S2°59'10"W
L24	207.00	N87°00'50"W
L25	14.90	N2°59'10"E
L27	94.82	N88°55'09"W
L29	6.28	S5°29'55"W
L30	6.60	N45°31'31"E
L31	22.77	S87°00'50"E
L32	28.97	N88°55'09"W

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	15.71	10.00	90°00'00"
C3	7.95	10.00	45°33'21"
C5	16.57	20.00	47°27'39"
C7	15.71	20.00	45°00'00"
C10	3.14	2.00	90°00'00"
C11	3.14	2.00	90°00'00"
C12	4.69	3.00	89°30'06"
C16	4.71	3.00	90°00'00"
C18	4.71	3.00	90°00'00"
C19	4.81	3.00	91°54'18"
C20	14.75	10.00	84°29'02"
C21	7.04	3.00	134°26'39"
C23	4.14	5.00	47°27'39"
C25	15.92	5.29	172°31'22"

ZONING TABLE		
ADDRESS: 10 ELM STREET, BOXFORD, MA		
ZONE: 0		
LAND USE CODE: 9560		
	REQUIRED	PROPOSED
FRONTAGE	250'	363'
FRONT YARD SETBACK	50'	39.53'
SIDE YARD SETBACK	25'	33.79'
REAR YARD SETBACK	25'	240.65'
PARKING SPACES	-	35

THE CENTER
AT 10 ELM
COMMUNITY/
STREET
SENIOR CENTER

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

GIRLIA

Gorman Richardson Lewis Architects
239 South Street
Hopkinton, MA 01748
www.griarchitects.com

PROJECT

CLIENT

FRM

KEY PLAN

REMARKS

REVISIONS

COPYRIGHT

SEAL ORIENTATION

DATA

TITLE

SHEET

No. Description Date

© COPYRIGHT 2020

ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS

APPEARING HEREIN SHALL REMAIN THE PROPERTY OF

GORMAN RICHARDSON LEWIS ARCHITECTS, INC.

AND AS SUCH IS NOT TO BE REPRODUCED IN

ANY FORM OR DISCLOSED OR OTHERWISE USED

WITHOUT THE EXPRESS WRITTEN CONSENT OF

GORMAN RICHARDSON LEWIS ARCHITECTS, INC.

ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS

HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT

INCLUDE BUT ARE NOT LIMITED TO, ERRORS AND

OMISSIONS, DESIGN CALCULATIONS AND DIMENSIONS,

DATA TRANSMISSION, OR DATA TRANSLATION.

Date: 12/21/2020

Proj. No.: 2020120.01

Scale: 1" = 20'-0"

Drawn By: BB

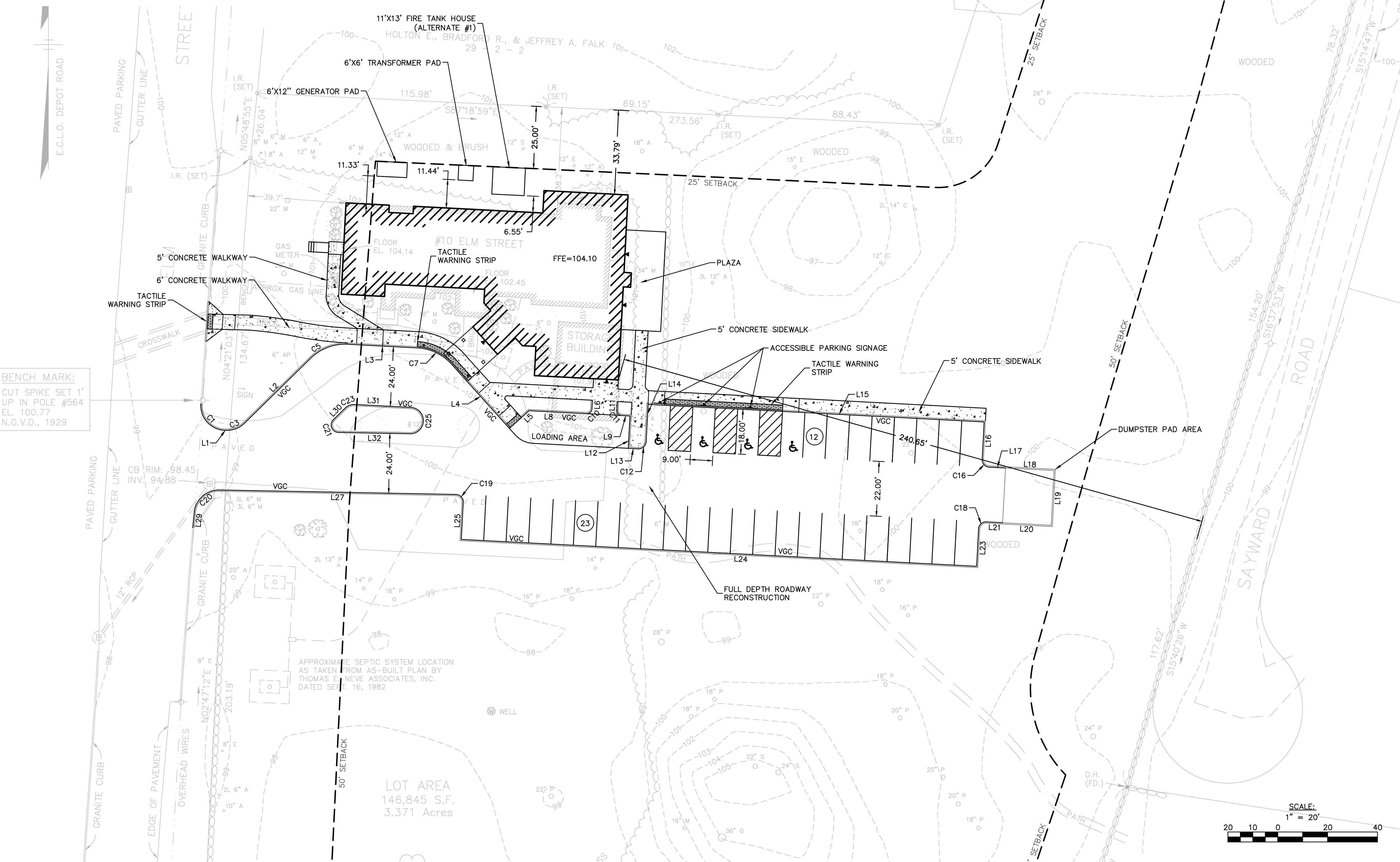
Checked By: DC

CIVIL LAYOUT

PLAN

C-300

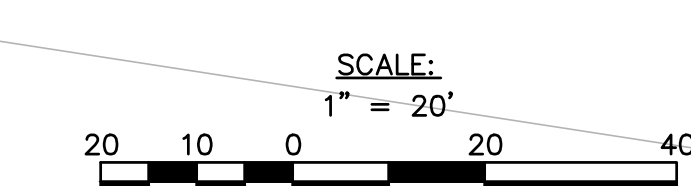
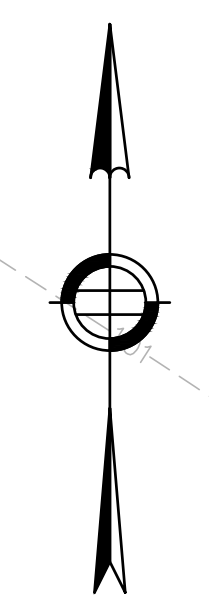
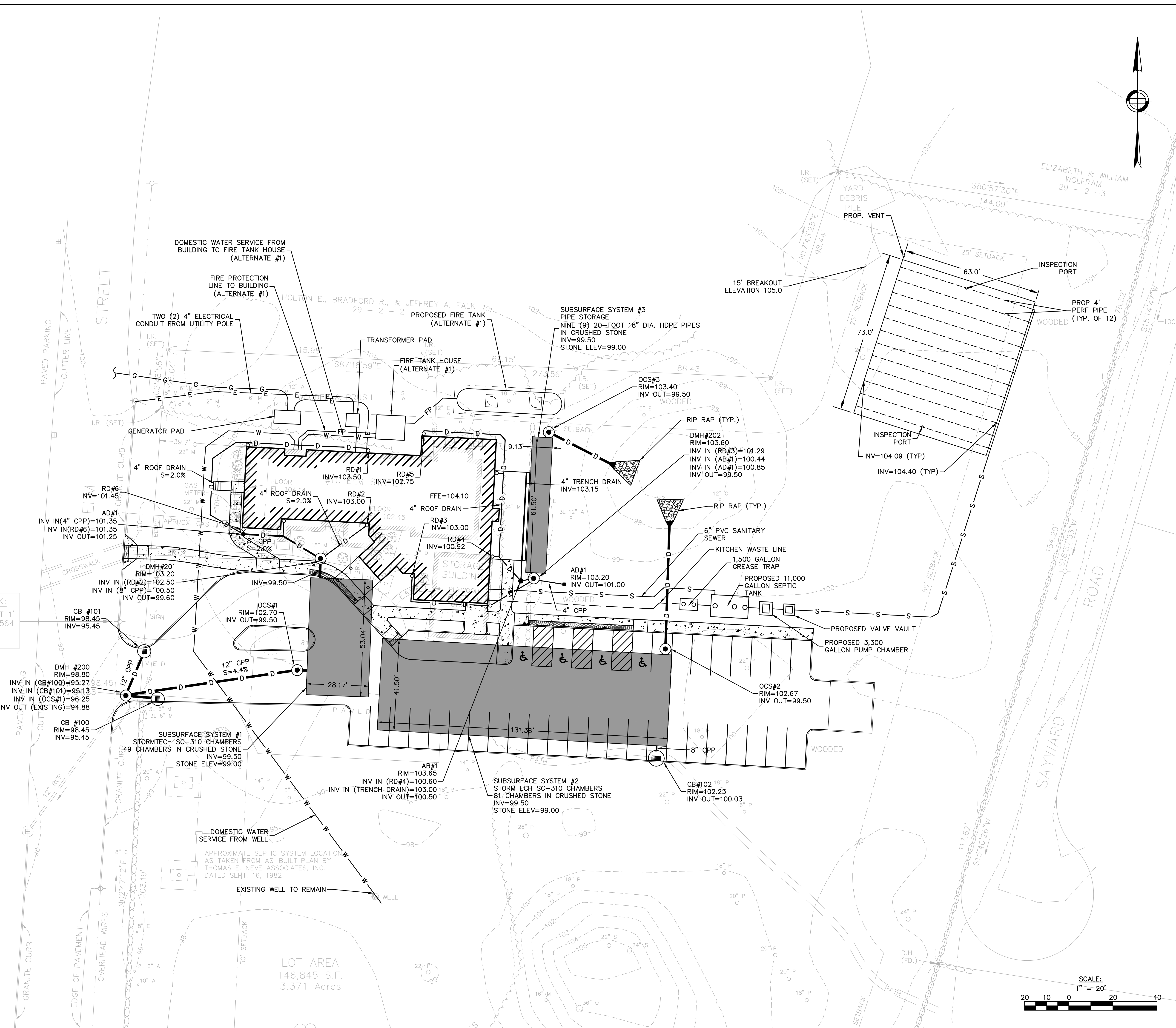
2020120.01 - TOWN OF BOXFORD THE CENTER AT 10 ELM STREET COMMUNITY/ SENIOR CENTER - SCHEMATIC DESIGN - 09/24/2020



BENCH MARK:
CUT SPIKE SET 1'
UP IN POLE #564
EL. 100.77
N.G.V.D., 1929



BENCH MARK:
CUT SPIKE SET 1' UP IN POLE #564
EL. 100.77
N.G.V.D., 1929



THE CENTER
AT 10 ELM
COMMUNITY/
STREET
SENIOR CENTER

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

G | R | L | A
Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

REVISIONS		
No.	Description	Date

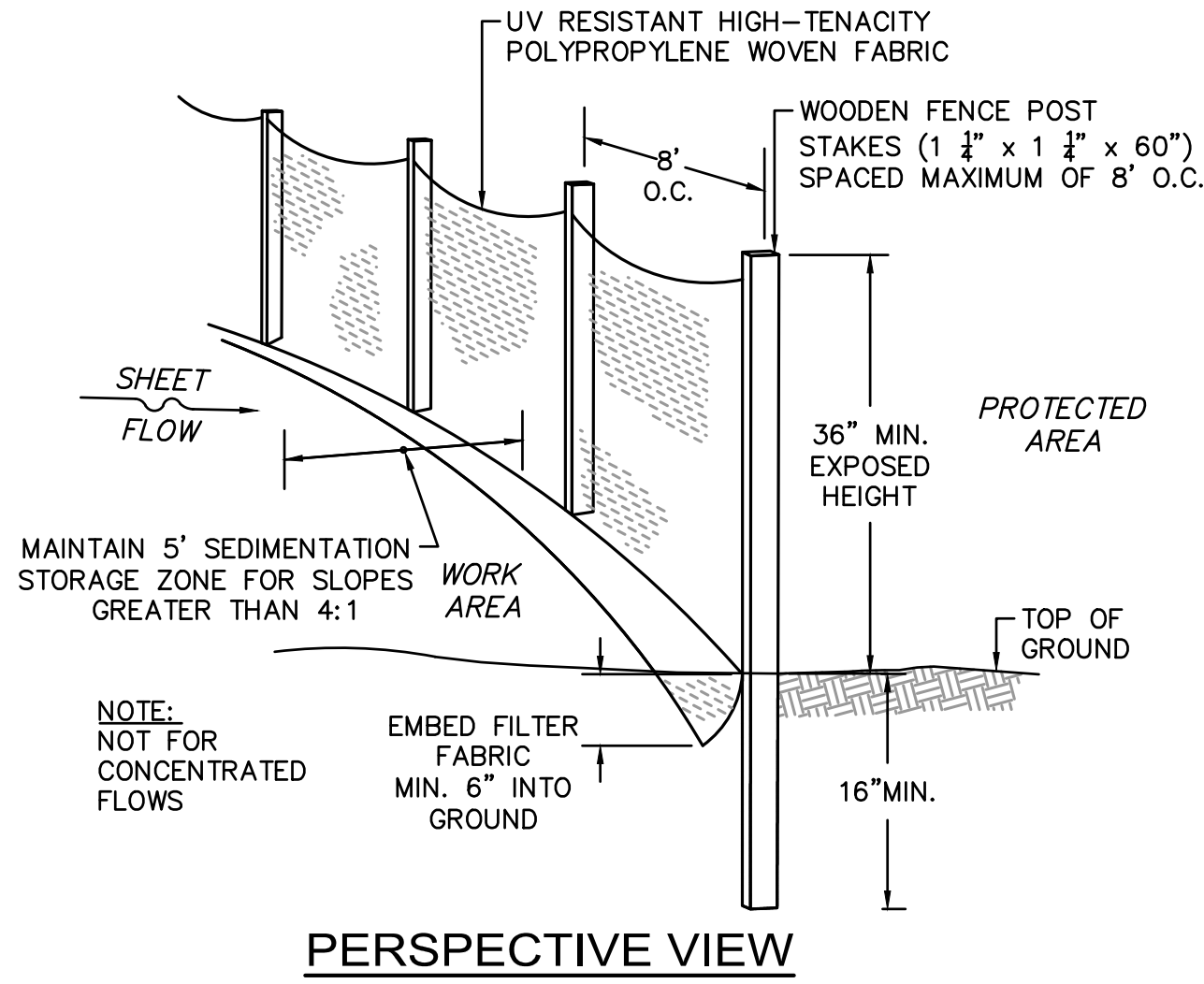
© COPYRIGHT 2020
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
APPEARING HEREIN SHALL REMAIN THE PROPERTY OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
AND AS SUCH IS NOT TO BE REPRODUCED IN
ANY FORM OR DISCLOSED OR OTHERWISE USED
WITHOUT THE EXPRESS WRITTEN CONSENT OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.

SEAL ORIENTATION	

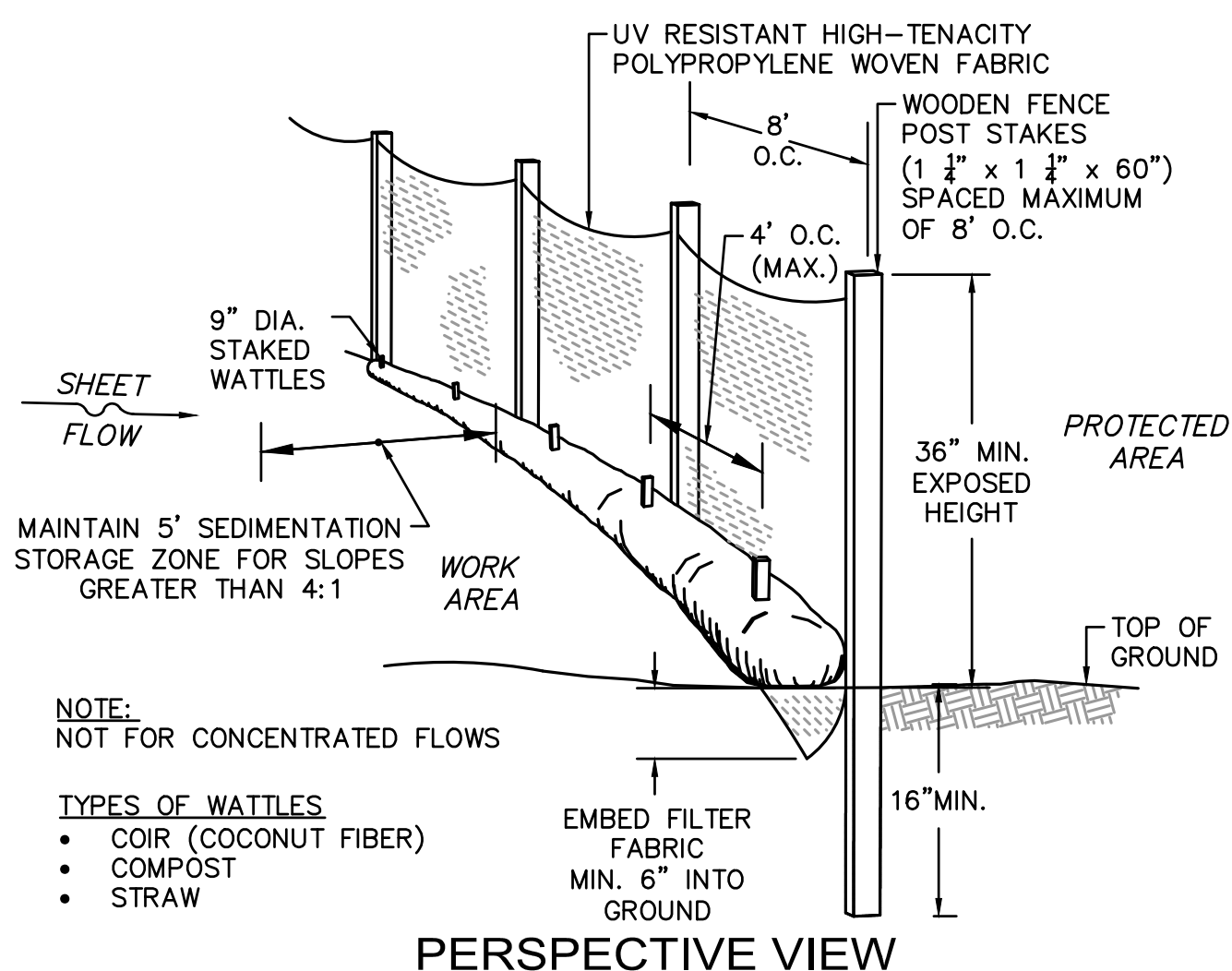
Date: 12/21/2020
Proj. No.: 2020120.01
Scale: 1" = 20'-0"
Drawn By: BB
Checked By: DC

CIVIL UTILITY
PLAN

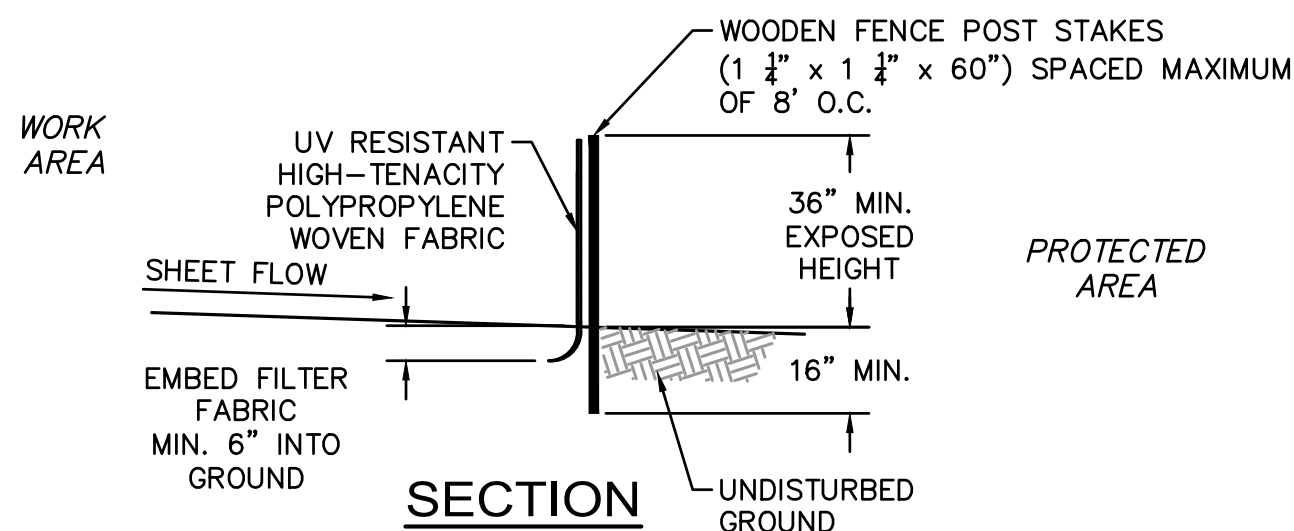
C-500



PERSPECTIVE VIEW

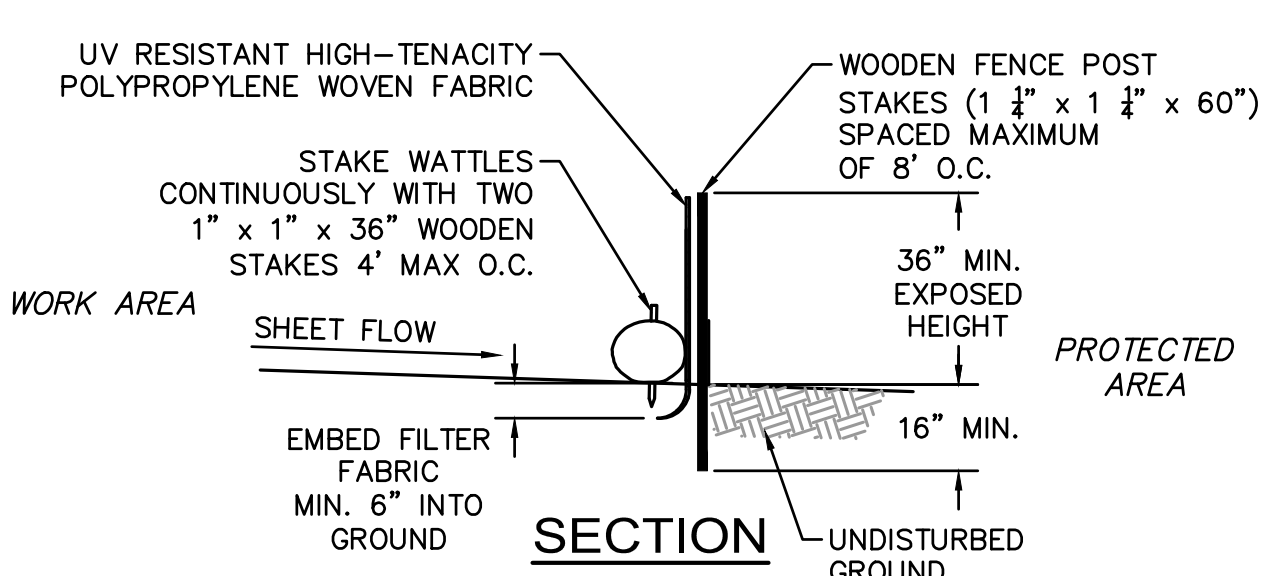


PERSPECTIVE VIEW



SECTION

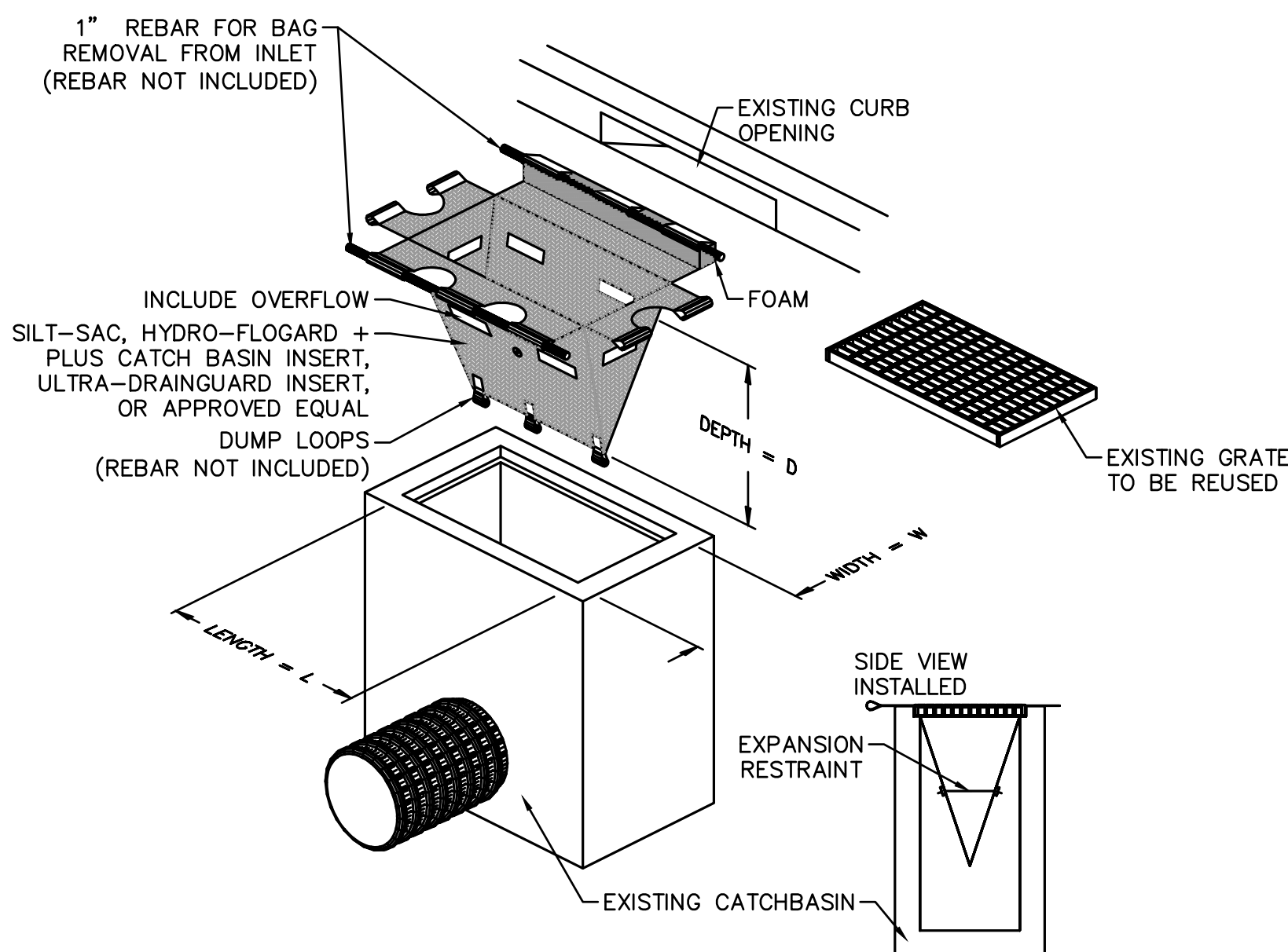
PERIMETER PROTECTION BARRIER (A)



SECTION

PERIMETER PROTECTION BARRIER (B)
SILT FENCE DETAIL WITH WATTLES

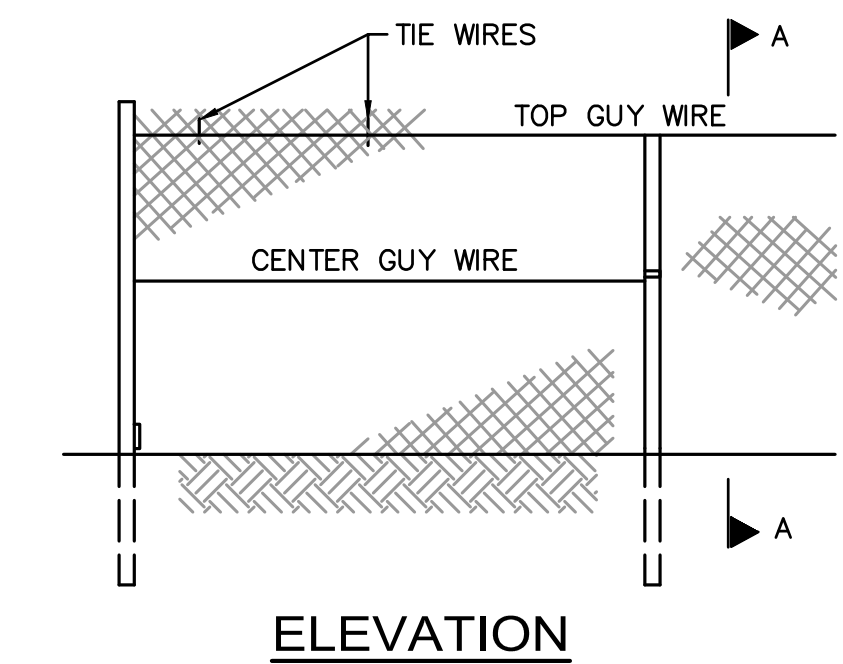
NOT TO SCALE



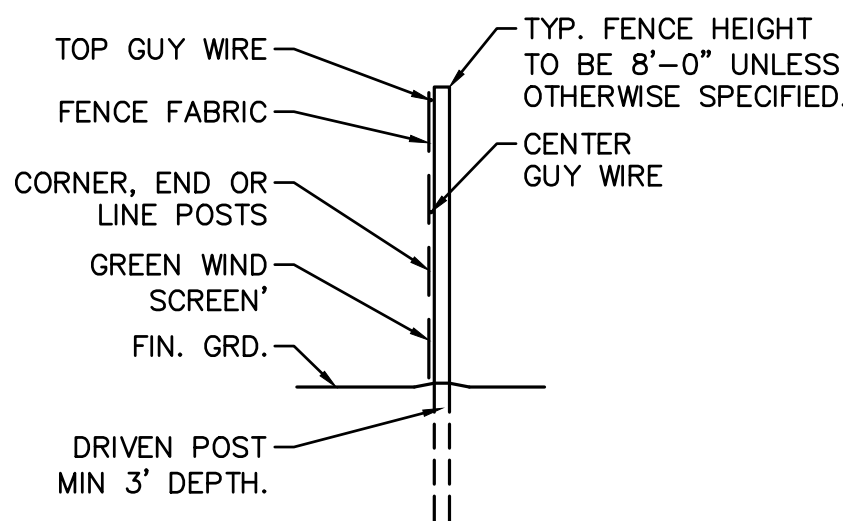
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS SHEET, OVERLAND OR CONCENTRATED FLOWS (NOT GREATER THAN 1 CFS). THE METHOD CAN DRAIN FLAT AREA TO STEEP SLOPES. INLET CAPACITY WILL BE DECREASED WITH THIS METHOD AND THE CONTRACTOR SHALL EXPECT PONDING DURING HIGH FLOW EVENTS.

INLET PROTECTION (2)
CATCH BASIN W/ SILTATION SACK

NOT TO SCALE



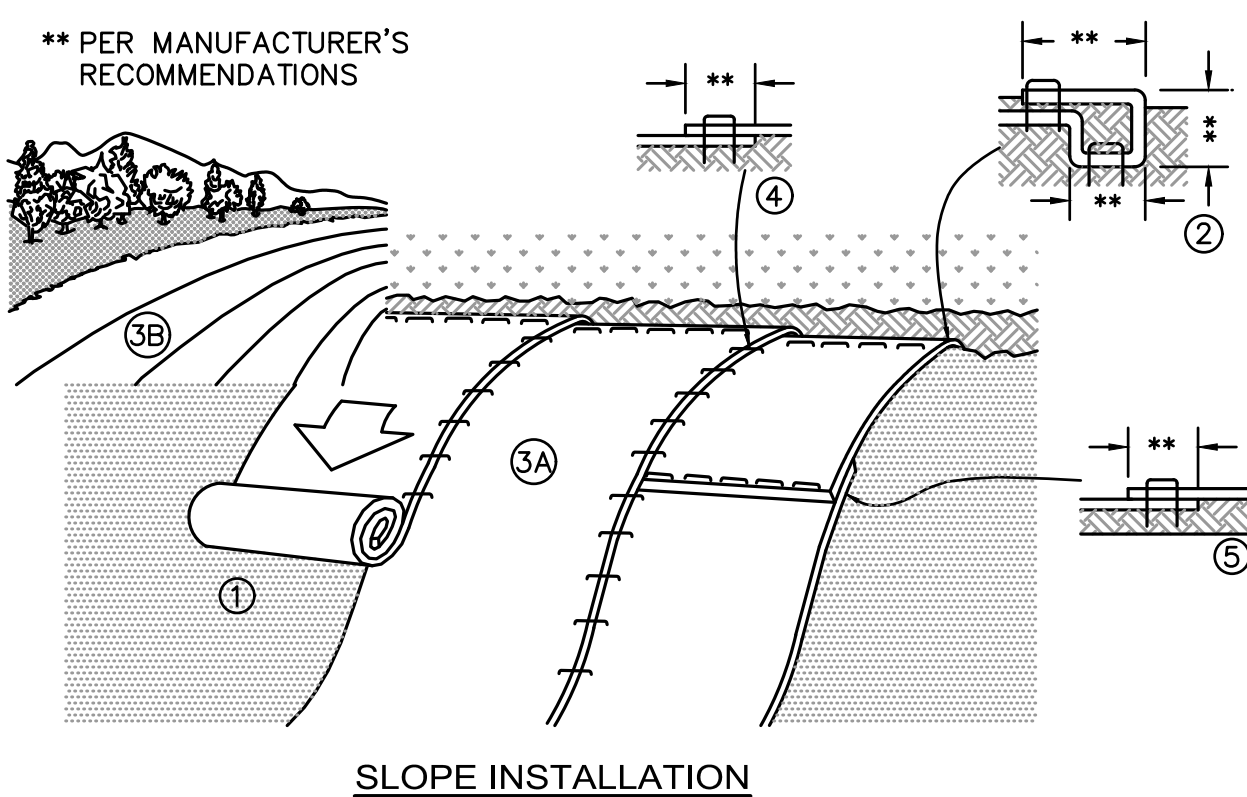
ELEVATION



SECTION A-A

CHAIN LINK CONSTRUCTION FENCE

NOT TO SCALE



SLOPE INSTALLATION

NOTES:

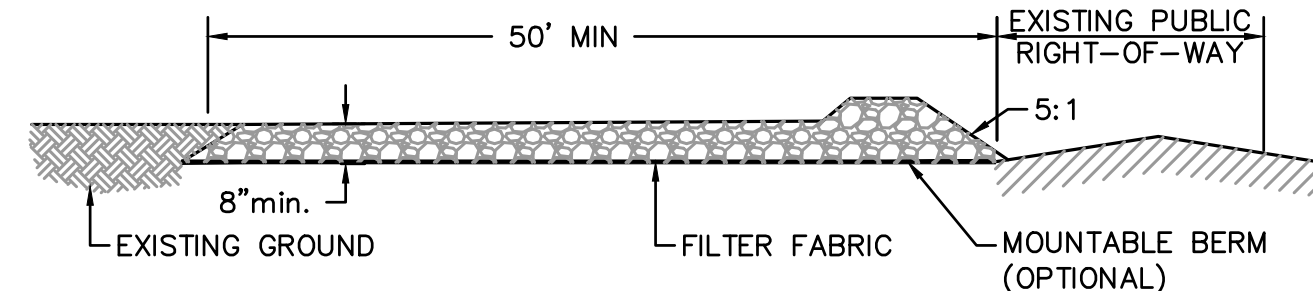
1. PREPARE SOIL BEFORE INSTALLING EROSION CONTROL BLANKETS (ECB's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE ECB's IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING PORTION OF ECB's BACK OVER SEED AND COMPACTED SOIL. SECURE ECB's OVER COMPACTED SOIL WITH A ROW OF STAKES/STAPLES SPACED ACCORDANCE TO THE MANUFACTURER'S RECOMMENDATIONS ACROSS THE WIDTH OF THE ECB's.
3. ROLL THE ECB's DOWN (A) OR HORIZONTALLY (B) ACROSS THE SLOPE. ECB's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL ECB's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAKES/STAPLES IN APPROPRIATE LOCATIONS AS SHOWN ON THE STAKE/STAPLE PATTERN GUIDE.
4. THE EDGES OF PARALLEL ECB's MUST BE STAKED/STAPLED WITH OVERLAP DEPENDING ON ECB's TYPE. SEE THE MANUFACTURER'S RECOMMENDATIONS.
5. CONSECUTIVE ECB's SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN OVERLAP (SEE THE MANUFACTURER'S RECOMMENDATIONS). STAKE/STAPLE THROUGH OVERLAPPED AREA, ACROSS ENTIRE ECB's WIDTH PER MANUFACTURER'S RECOMMENDATIONS.
6. IN LOOSE SOIL CONDITIONS, THE USE OF STAKE OR STAPLE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE ECB's.
7. THE CONTRACTOR SHALL FOLLOW ALL INSTALLATION INSTRUCTIONS AS RECOMMENDED BY THE MANUFACTURER.

TEMPORARY EROSION CONTROL
BLANKET FOR STEEP SLOPES DETAIL

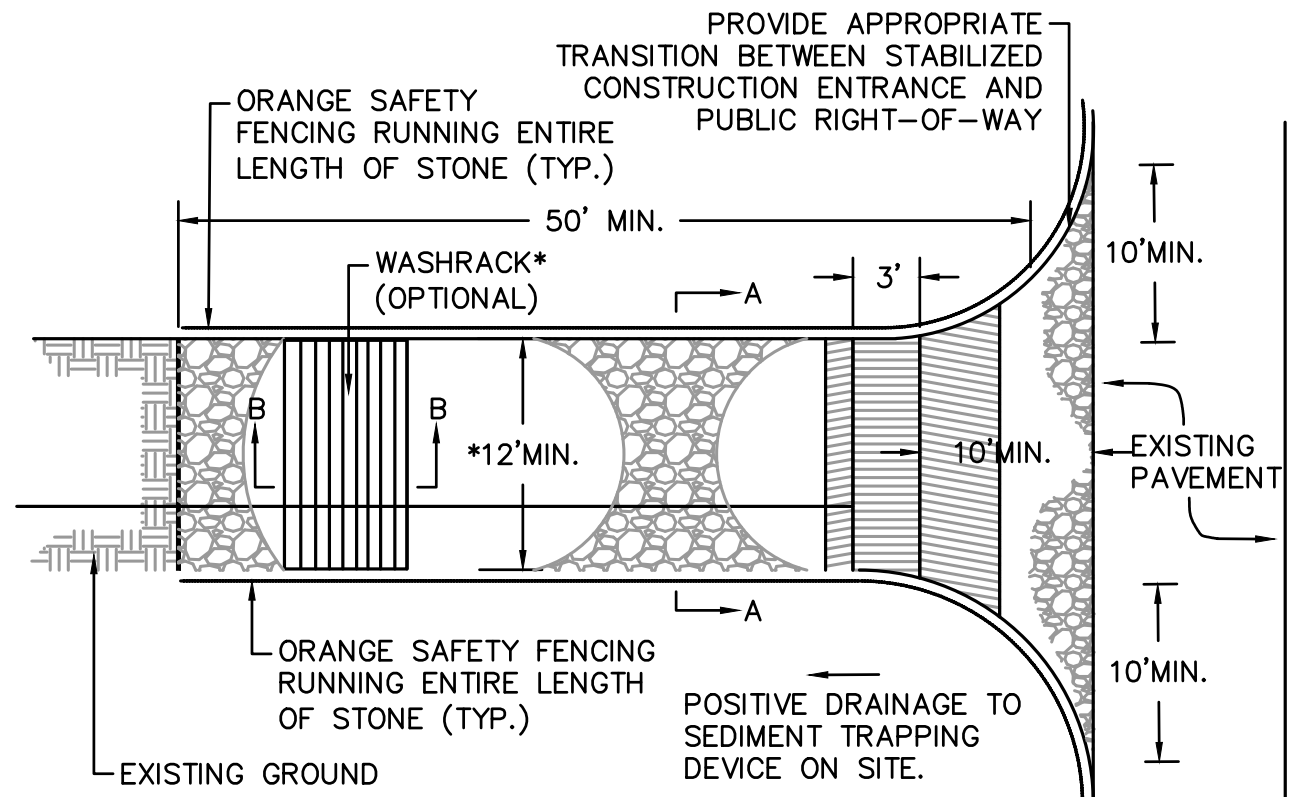
NOT TO SCALE

CONSTRUCTION FENCE
AND GATE NOTES

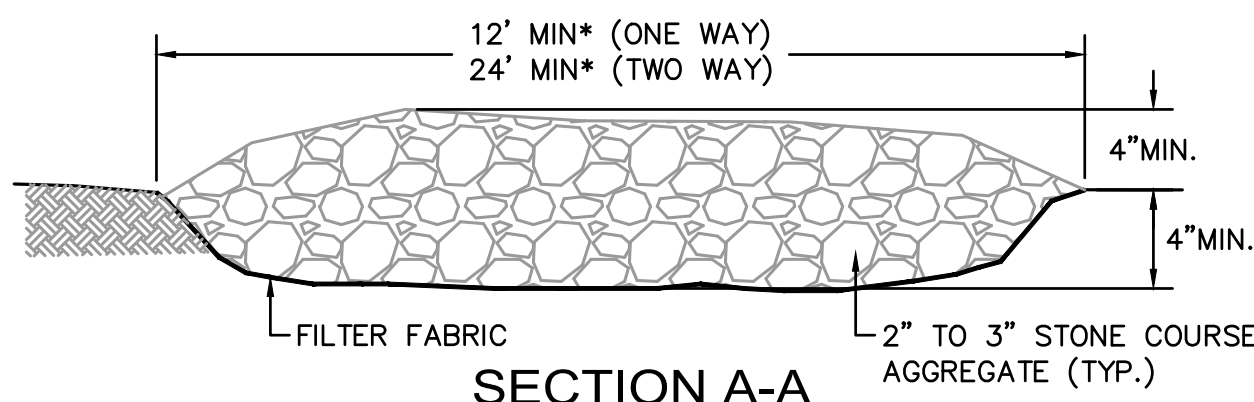
1. FABRIC SHALL BE 0.148" WIRE, WOVEN INTO APPROXIMATELY 2" DIAMOND MESH.
2. THE FENCE FABRIC SHALL BE ZINC COATED STEEL OR ALUMINUM COATED STEEL.
3. FENCE POSTS SHALL RECEIVE THE SAME COATING AND TREATMENT AS THE FENCE FABRIC (DESCRIBED ABOVE).
4. THE CONTRACTOR SHALL ADD A GREEN WIND SCREEN
5. LINE POSTS SHALL BE 2 1/2" O.D. END OR CORNER POSTS SHALL BE 3" O.D.
6. THE CONTRACTOR IS RESPONSIBLE FOR SURFACE RESTORATION ONCE THE FENCE IS REMOVED.
7. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY CONSTRUCTION FENCE AT THE CONCLUSION OF THE PROJECT.



SIDE ELEVATION

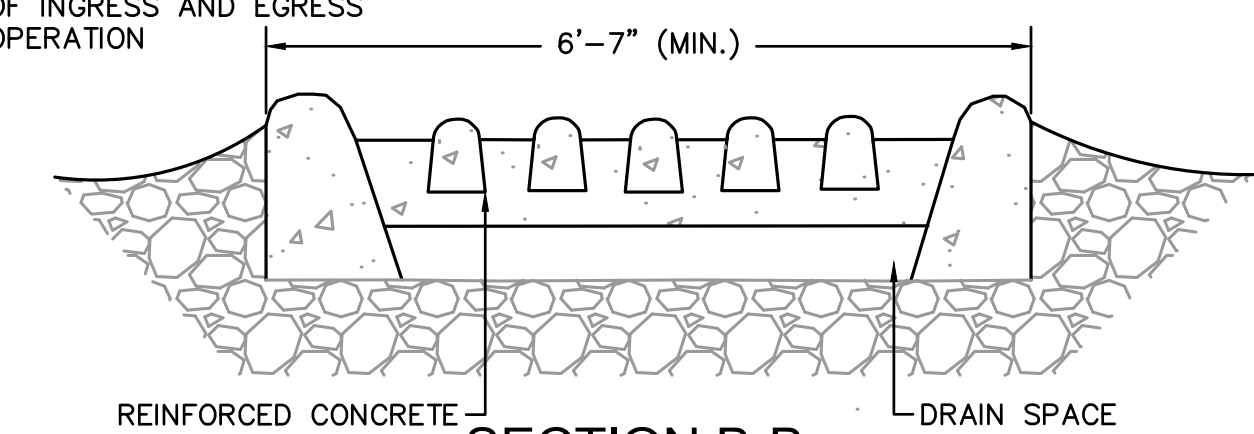


PLAN VIEW



SECTION A-A

* MUST EXTEND FULL WIDTH OF INGRESS AND EGRESS OPERATION



SECTION B-B

CONSTRUCTION SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS

LENGTH - GREATER THAN OR EQUAL TO 50 FEET

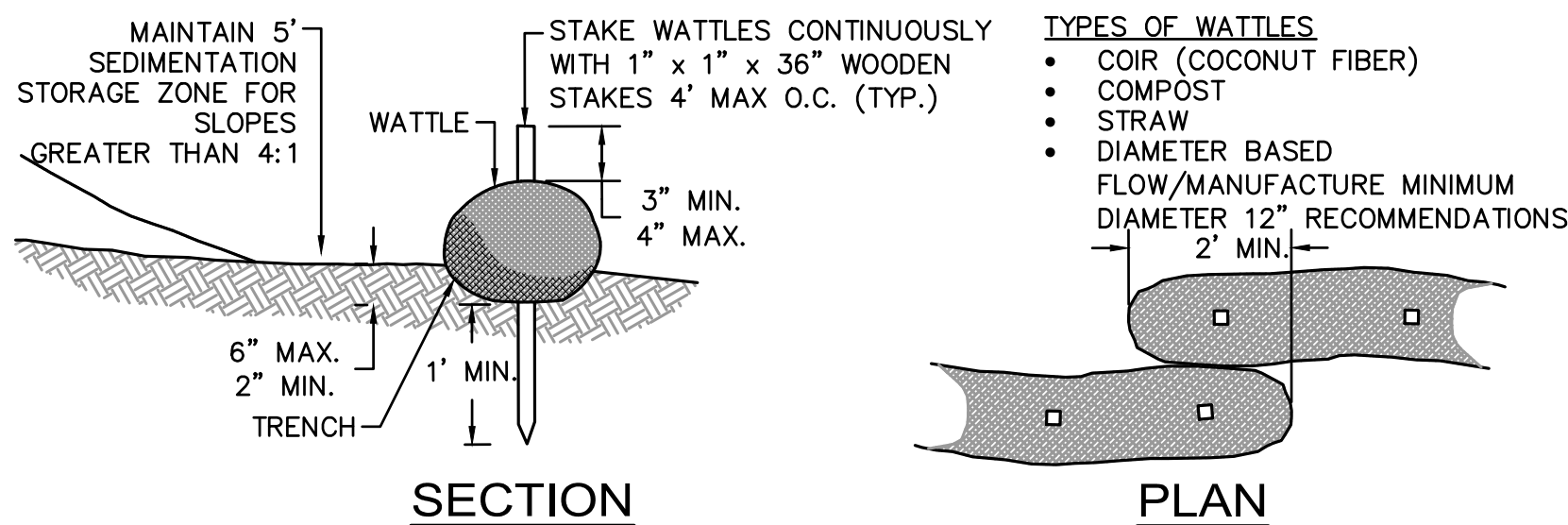
WIDTH - TWELVE FOOT MINIMUM (ONE WAY), TWENTY FOUR FOOT MINIMUM (TWO WAY), BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.

SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHALL BE PERMITTED.

THICKNESS - 8"

PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.

STABILIZED CONSTRUCTION ENTRANCE



SECTION

PLAN

WATTLES - SLOPE PROTECTION FOR SLOPES LESS THAN 10:1

NOT TO SCALE

THE CENTER
AT 10 ELM
COMMUNITY/
STREET
SENIOR CENTER

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

GIRLIA

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.girlarchitects.com

© COPYRIGHT 2020

ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS APPEARING HEREIN SHALL REMAIN THE PROPERTY OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC. AND AS SUCH IS NOT TO BE REPRODUCED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN CONSENT OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC. ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT INCLUDE BUT ARE NOT LIMITED TO, ERRORS AND OMISSIONS, DESIGN CALCULATIONS AND DIMENSIONS, DATA TRANSMISSION, OR DATA TRANSLATION.

Date: 12/21/2020

Proj. No.: 2020120.01

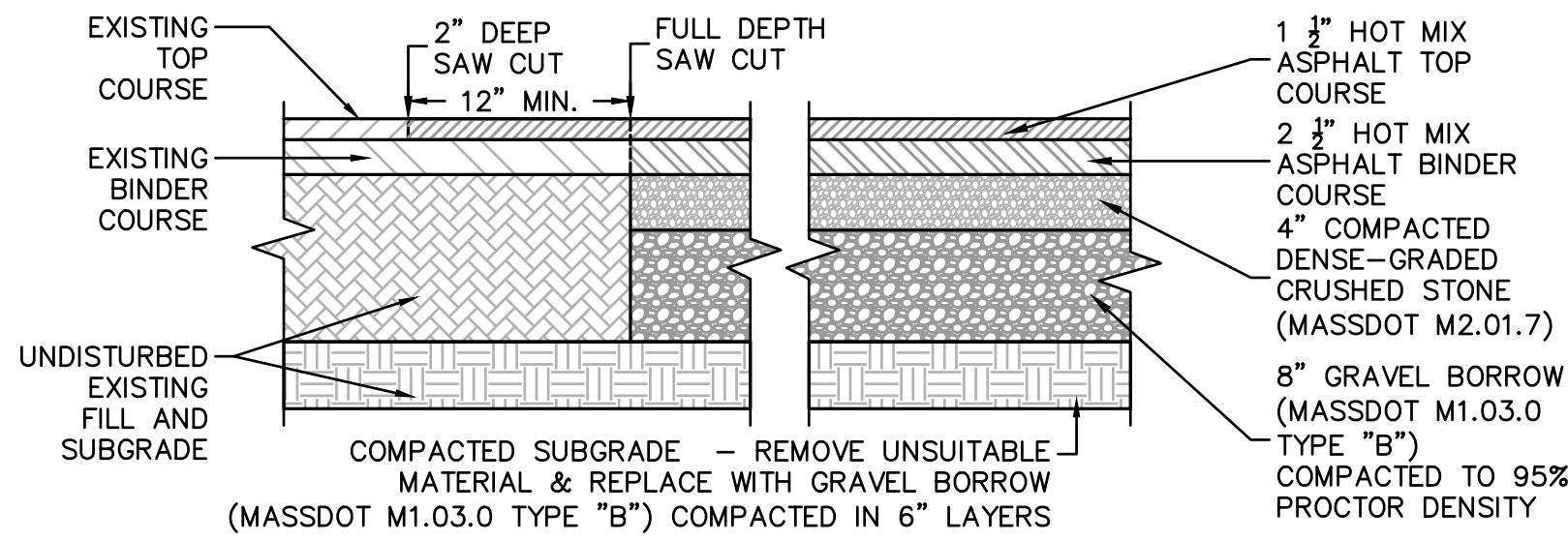
Scale: AS NOTED

Drawn By: BB

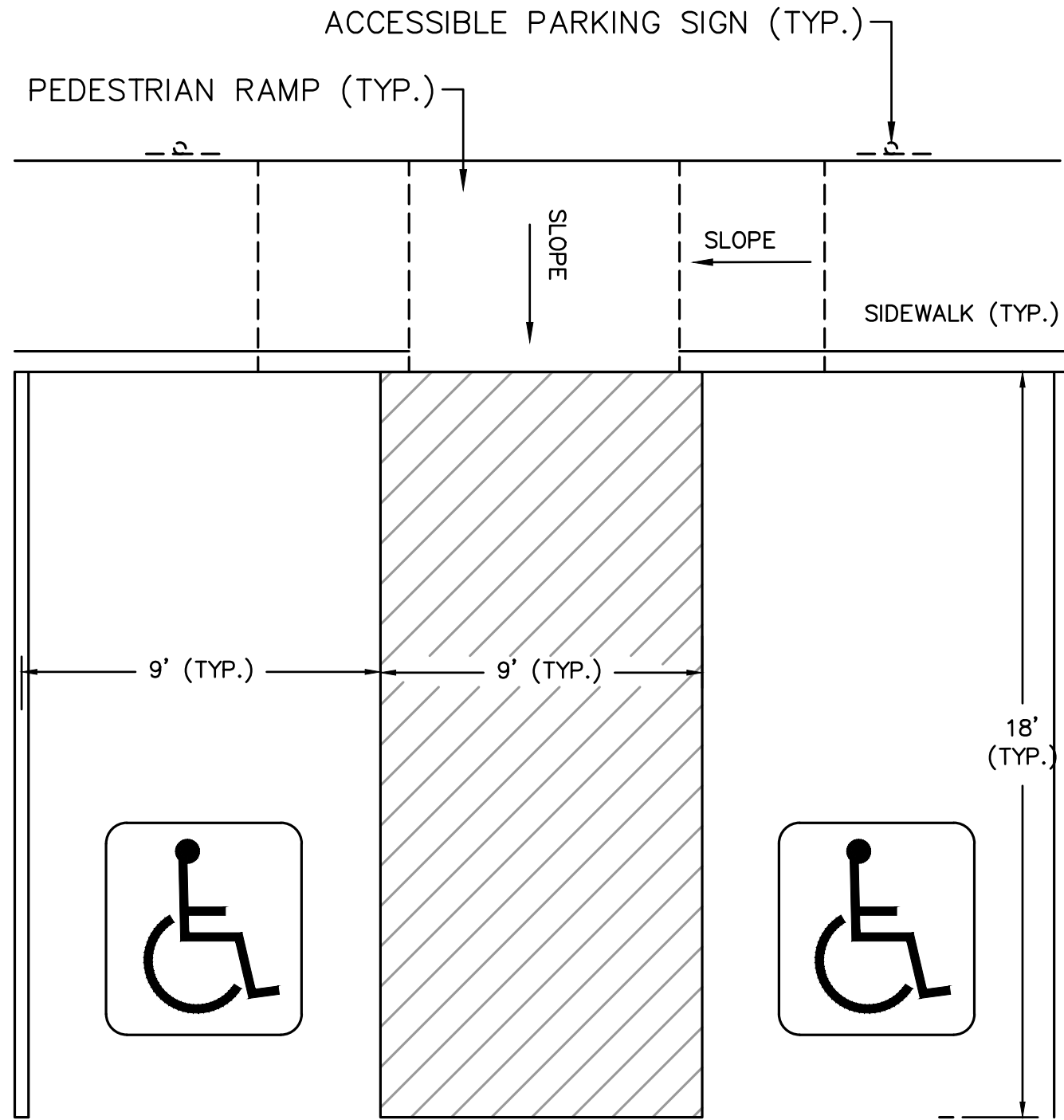
Checked By: DC

CIVIL DETAILS I

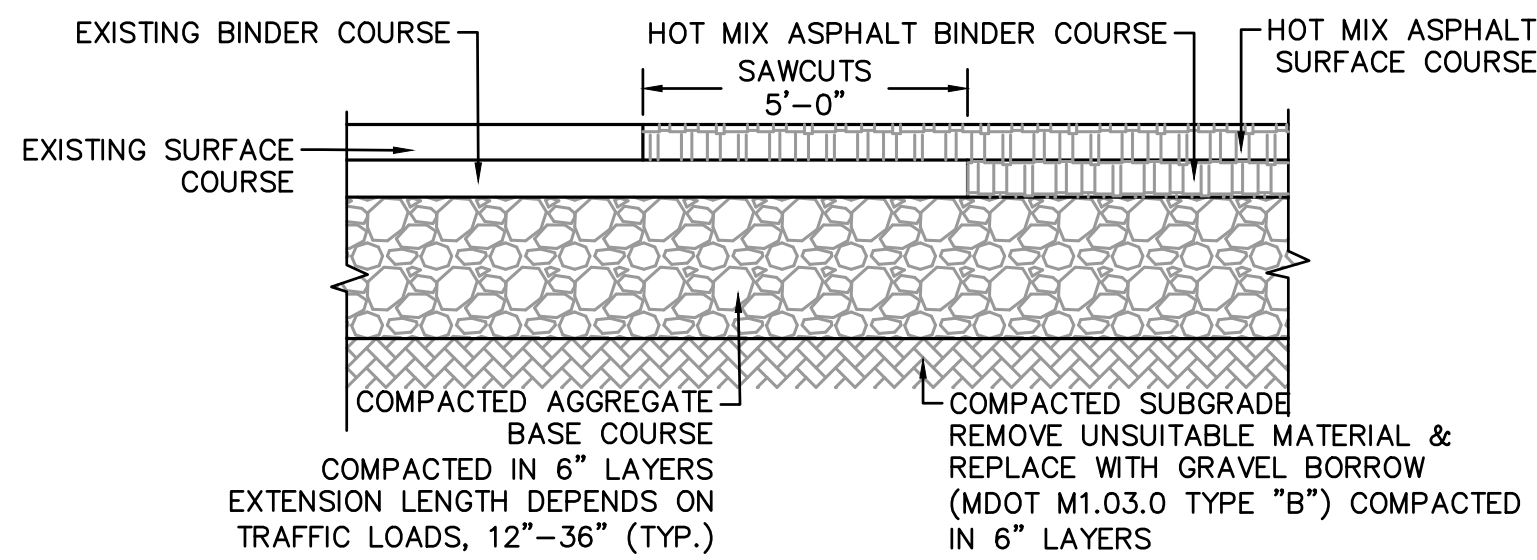
9/4/2020 6:06:19 PM C:_Revit Local\10 Elm St. dsoliman@griarchitects.com.rvt



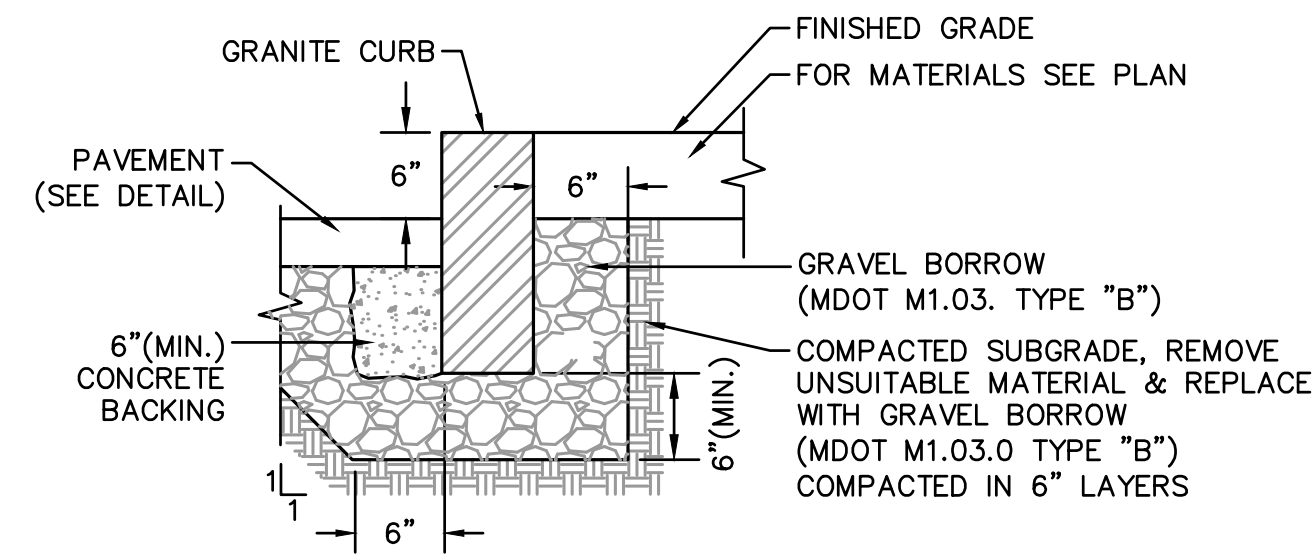
HOT MIX ASPHALT PAVING (TWO COURSES) DETAIL
NOT TO SCALE



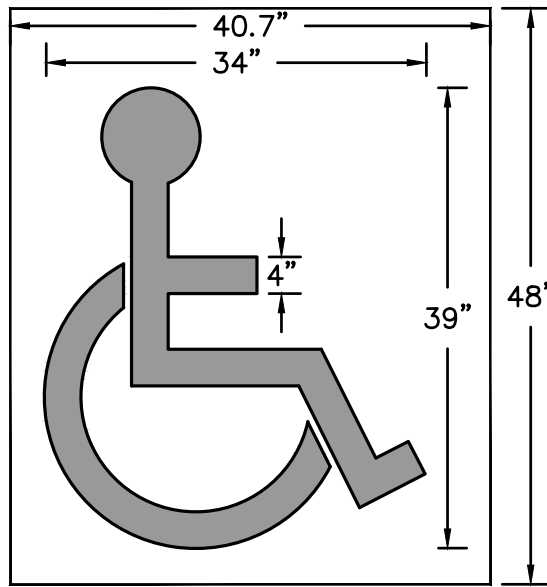
ACCESSIBLE PARKING DETAIL
NOT TO SCALE



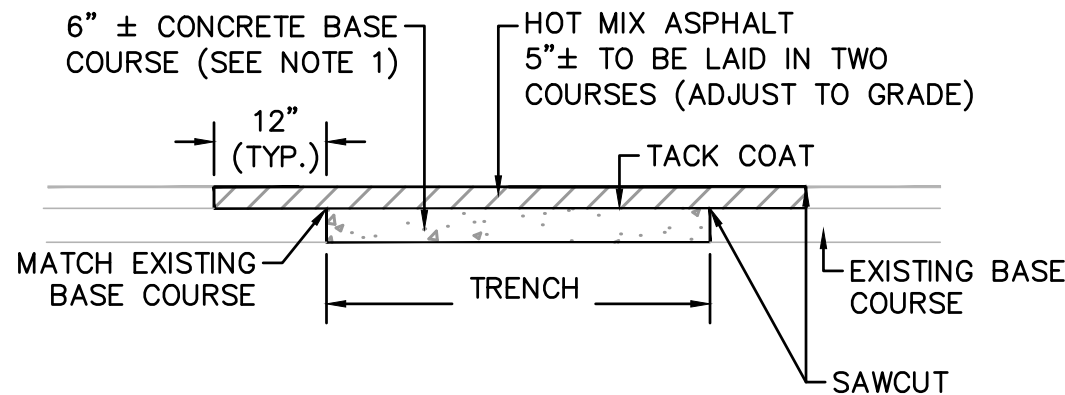
PAVEMENT MATCHING DETAIL
NOT TO SCALE



VERTICAL GRANITE CURB SETTING DETAIL
NOT TO SCALE

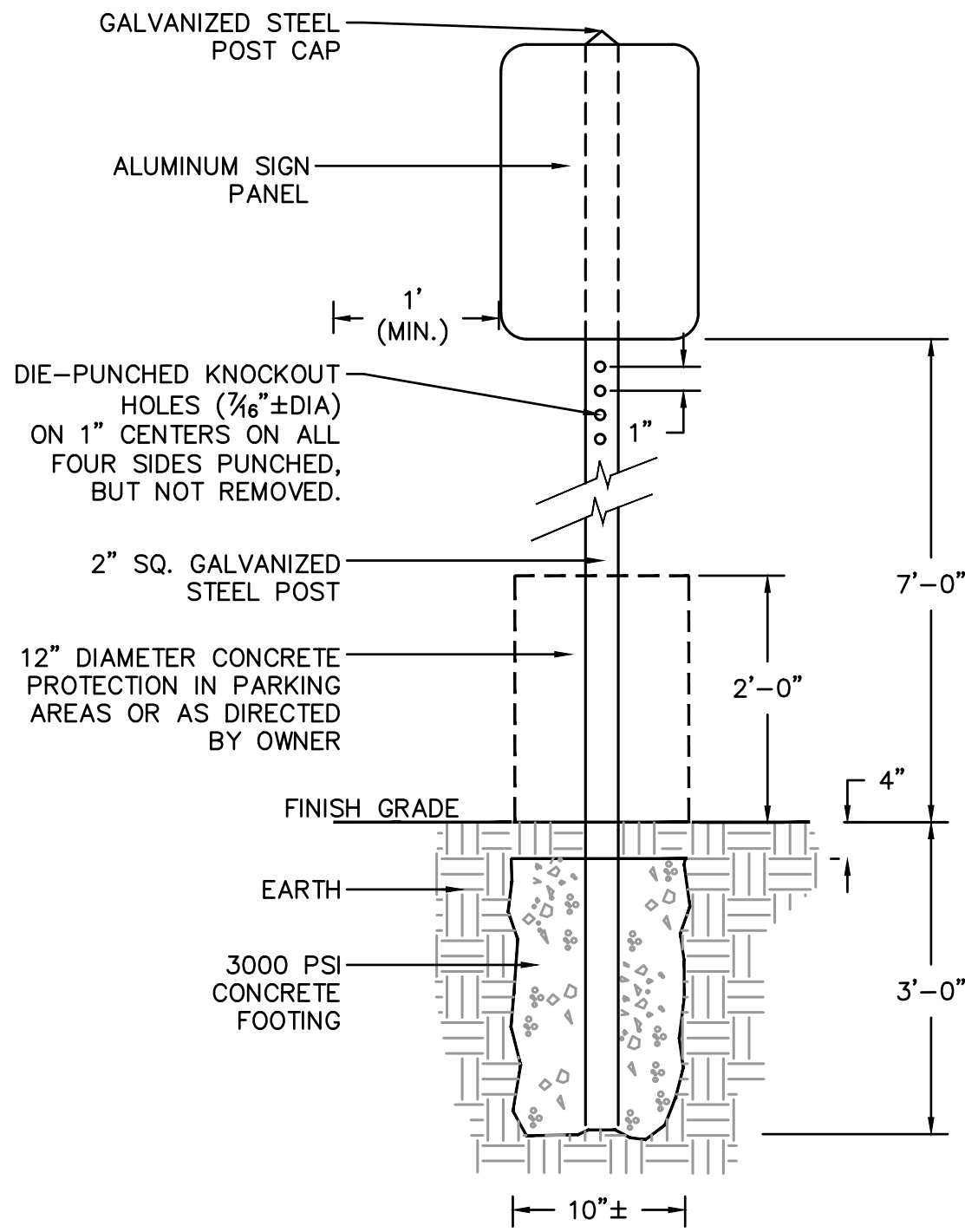


ACCESSIBLE PARKING STENCIL DETAIL
NOT TO SCALE



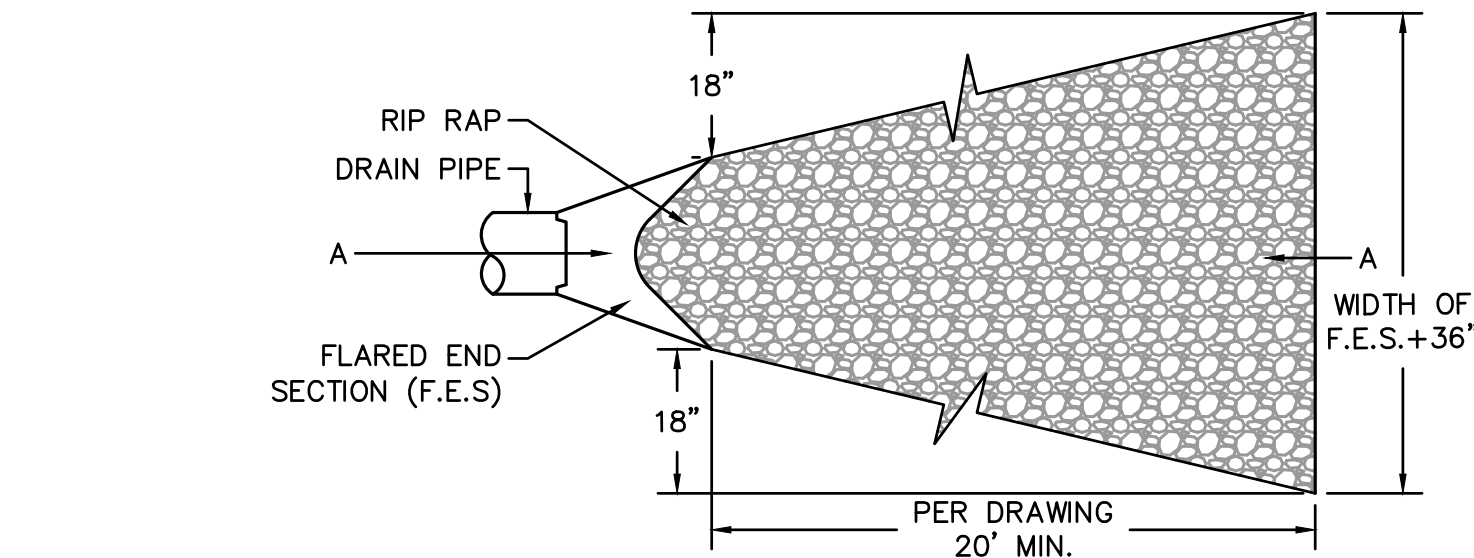
NOTES:
1. PROPOSED CONCRETE BASE COURSE SHALL BE LEVEL WITH THE TOP OF THE EXISTING BASE COURSE

PAVEMENT RESTORATION OVER TRENCH DETAIL
NOT TO SCALE

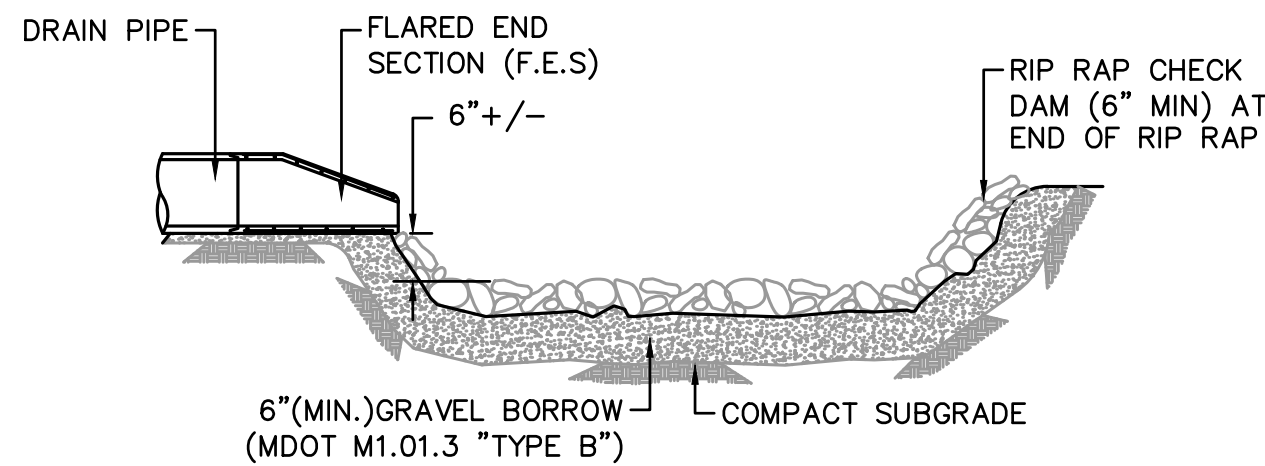


SIGN POST SETTING DETAIL
NOT TO SCALE
(SIGN PANEL UNDER 10 SF IN AREA)

SIGNS SHALL BE SET AT RIGHT ANGLES TO THE DIRECTION, AND FACING, THE TRAFFIC INTENDED TO SERVE.



SECTION A-A



NOTE:
RIP RAP SHALL BE DUMPED AND MACHINE GRADED (HAND GRADE AS NEEDED)

RIP RAP DETAIL
NOT TO SCALE

THE CENTER
AT 10 ELM
COMMUNITY/
STREET
SENIOR CENTER

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.griarchitects.com

No.	Description	Date

© COPYRIGHT 2020
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS APPEARING HEREIN SHALL REMAIN THE PROPERTY OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC. AND AS SUCH IS NOT TO BE REPRODUCED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT INCLUDE BUT ARE NOT LIMITED TO, ERRORS AND OMISSIONS, DESIGN CALCULATIONS AND DIMENSIONS, DATA TRANSMISSION, OR DATA TRANSLATION.

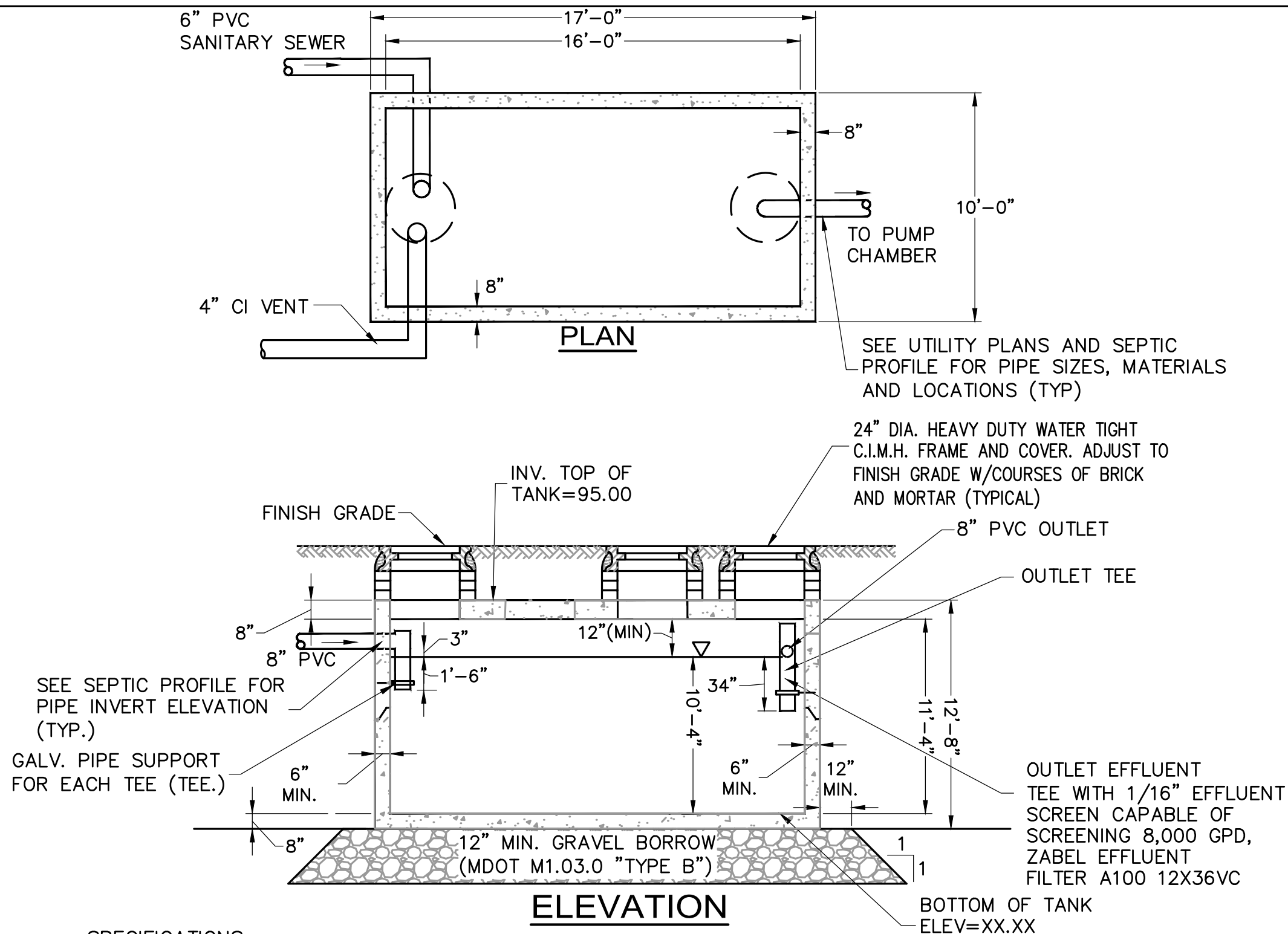
Date: 12/21/2020
Proj. No.: 2020120.01
Scale: AS NOTED
Drawn By: BB
Checked By: DC

CIVIL DETAILS II

C-601

2020120.01 - TOWN OF BOXFORD THE CENTER AT 10 ELM STREET COMMUNITY/ SENIOR CENTER - SCHEMATIC DESIGN - 09/24/2020

9/4/2020 6:06:19 PM C:_Revit Local\10 Elm St. dsoliman@griarchitects.com.rvt

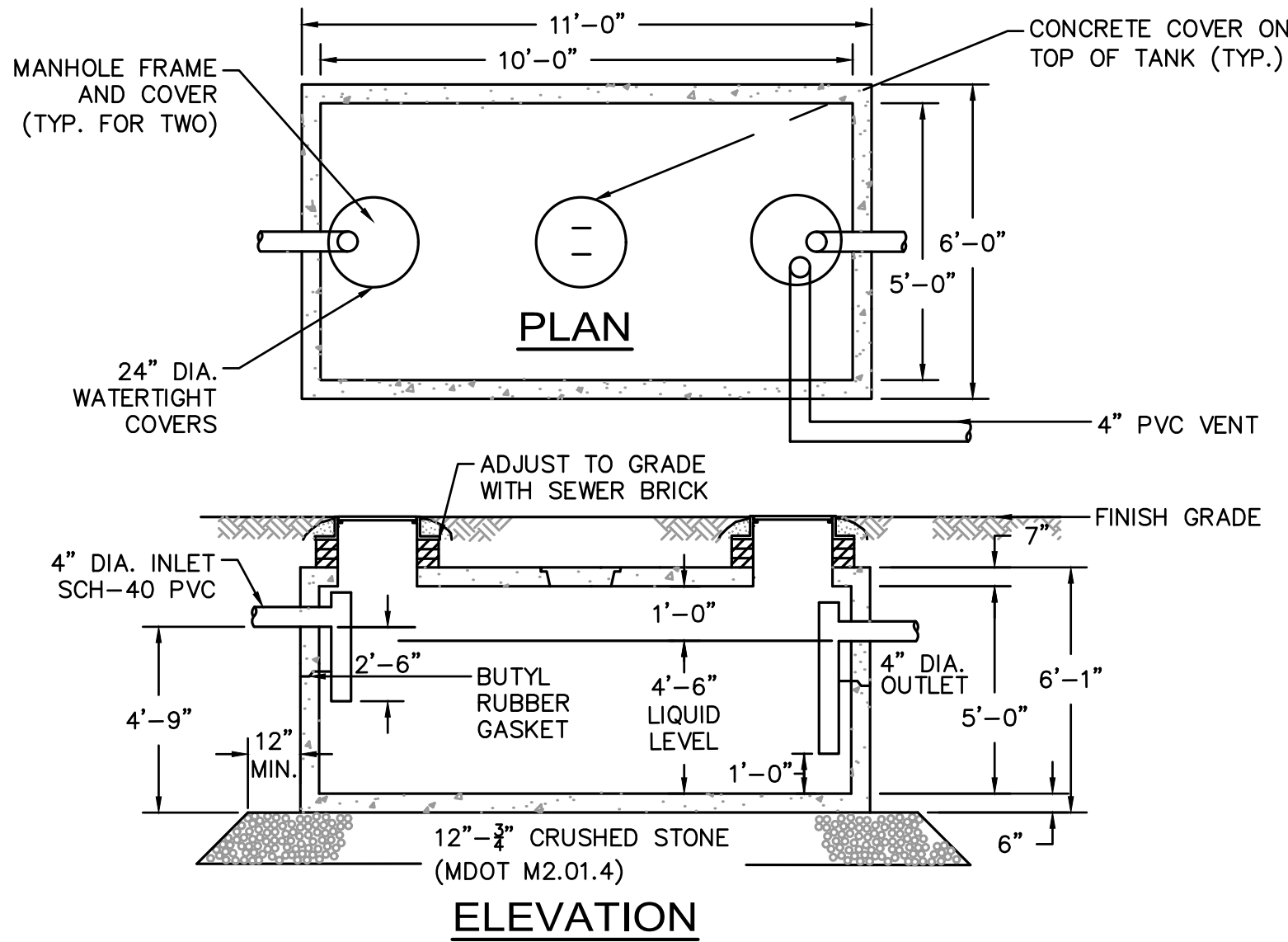
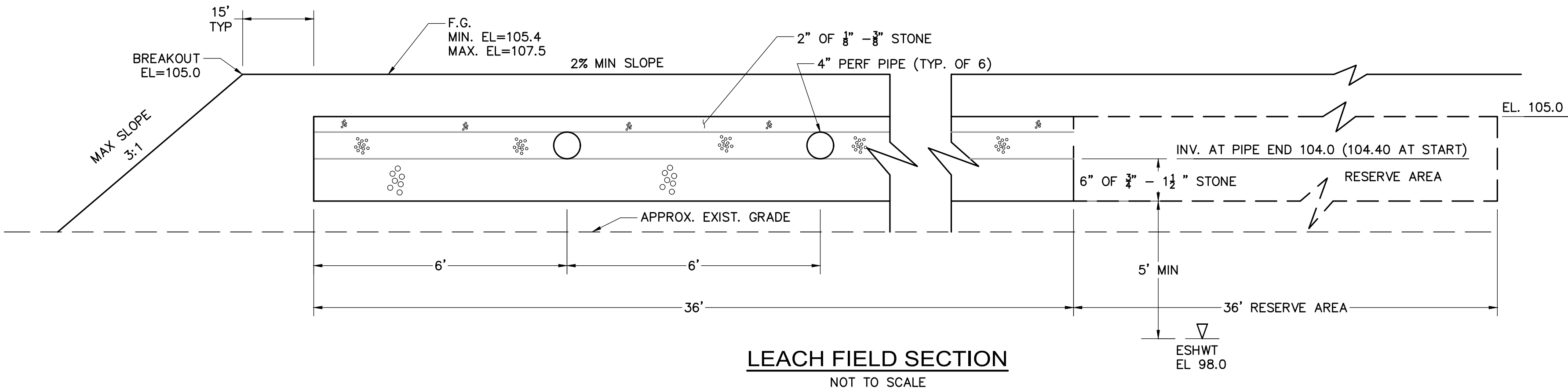


SPECIFICATIONS:

1. CONCRETE MINIMUM STRENGTH – 5,000 PSI @ 28 DAYS
2. STEEL REINFORCEMENT – ASTM A615 GR. 60, A185 OR A497 – 1" MIN. COVER
3. DESIGN LOADING – AASHTO HS20-44 – EARTH COVER 1 TO 5 FEET
4. CONSTRUCTION JOINT – SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT AND 3/4" DIA. BOLTS
5. CONTRACTOR SHALL PROVIDE BUOYANCY CALCULATIONS STAMPED BY A MASSACHUSETTS PROFESSIONAL ENGINEER FOR ALL CONCRETE TANKS.
6. TANK SHALL BE VENTED IN ACCORDANCE WITH 310CMR 15.224
7. APPROXIMATE TOTAL WEIGHT OF TANK IS 83,528 LBS
8. USE TANK RISERS TO PROVIDE 9" MIN TO 3' MAX COVER OVER THE TOP OF THE TANKS
9. CONTRACTOR TO PERFORM A VACUUM TEST OF THE TANK IN THE PRESENCE OF ACTON BOARD OF HEALTH AGENT. THERE SHALL BE NO DROP IN PRESSURE DURING THE VACUUM TEST. THE CONTRACTOR SHALL PERFORM A WATER TIGHT TEST FOR A MINIMUM OF 24-HOURS PRIOR TO OPERATION OF THE SYSTEM. THE ACTON BOARD OF HEALTH AGENT WILL APPROVE THE RESULTS OF THE WATER TIGHT TEST. THERE SHALL BE NO LEAKAGE DURING THE WATER TIGHT TEST.

11,000 GALLON SEPTIC TANK

NOT TO SCALE



SPECIFICATIONS:

1. CONCRETE MINIMUM STRENGTH – 5,000 PSI @ 28 DAYS
2. STEEL REINFORCEMENT – ASTM A615 GR. 60, A185 OR A497 – 1" MIN. COVER
3. DESIGN LOADING – AASHTO HS20-44 – EARTH COVER 0 TO 5 FEET
4. WATER TABLE – 0 FEET
5. CONSTRUCTION JOINT – SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT
6. TOTAL CAPACITY – 1,500 GALLONS

1,500 GALLON GREASE TRAP DETAIL

NOT TO SCALE

THE CENTER
AT 10 ELM
COMMUNITY/
STREET
SENIOR CENTER

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.griarchitects.com

© COPYRIGHT 2020

ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS APPEARING HEREIN SHALL REMAIN THE PROPERTY OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC. AND AS SUCH IS NOT TO BE REPRODUCED IN ANY FORM OR DISCLOSED OR OTHERWISE USED WITHOUT THE EXPRESS WRITTEN CONSENT OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC.

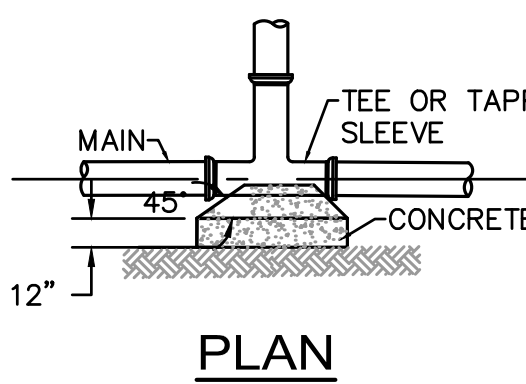
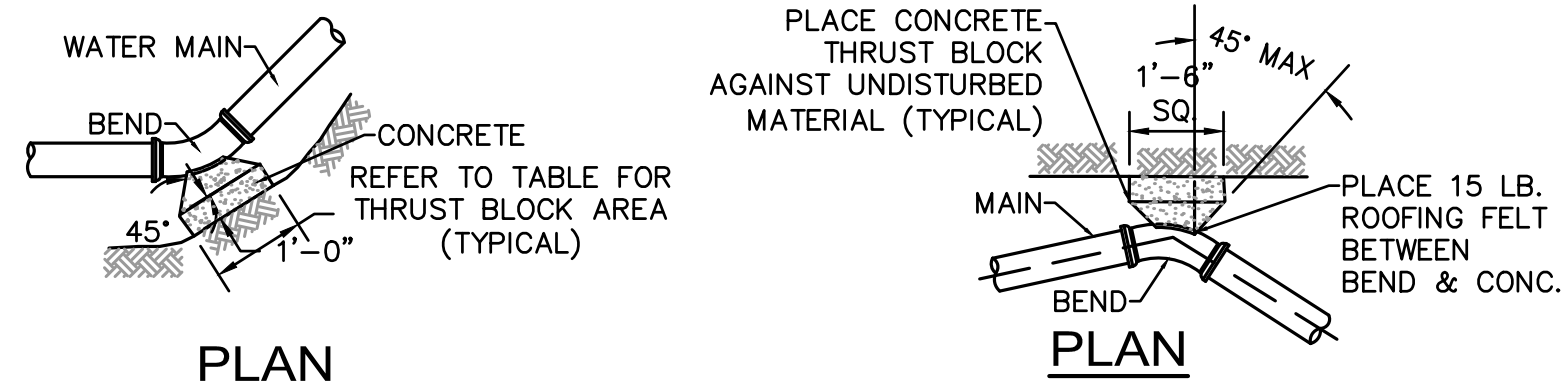
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT INCLUDE BUT ARE NOT LIMITED TO, ERRORS AND OMISSIONS, DESIGN CALCULATIONS AND DIMENSIONS, DATA TRANSMISSION, OR DATA TRANSLATION.

Date: 12/21/2020
Proj. No.: 2020120.01
Scale: AS NOTED
Drawn By: BB
Checked By: DC

CIVIL DETAILS III

C-602

2020120.01 - TOWN OF BOXFORD THE CENTER AT 10 ELM STREET COMMUNITY/ SENIOR CENTER - SCHEMATIC DESIGN - 09/24/2020

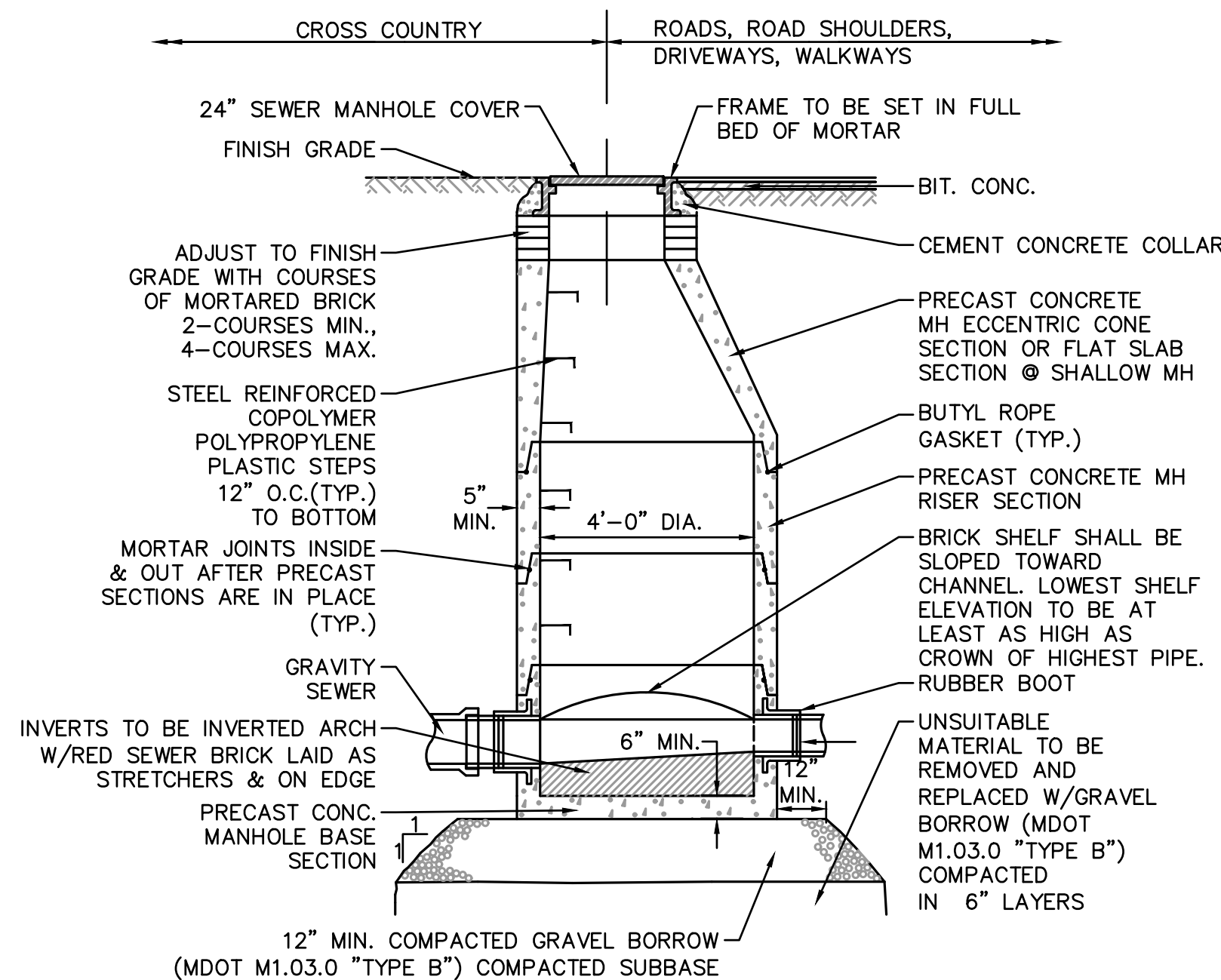


- NOTES:
1. THRUST BLOCKS TO BE USED ON ALL PRESSURE PIPES AT HORIZONTAL AND VERTICAL BENDS GREATER OR EQUAL TO 45°, TEES AND DEAD ENDS.
 2. FOR FITTINGS WITH LESS THAN 45° DEFLECTION USE BEARING AREAS FOR 45° BEND.
 3. BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 PSF AND A MINIMUM INTERNAL WATER PRESSURE OF 175 PSIG. JOINTS SHALL NOT BE ENCASED IN CONCRETE, BEARING AREAS MAY BE DISREGARDED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN THE PIPE AND ROCK FACE.

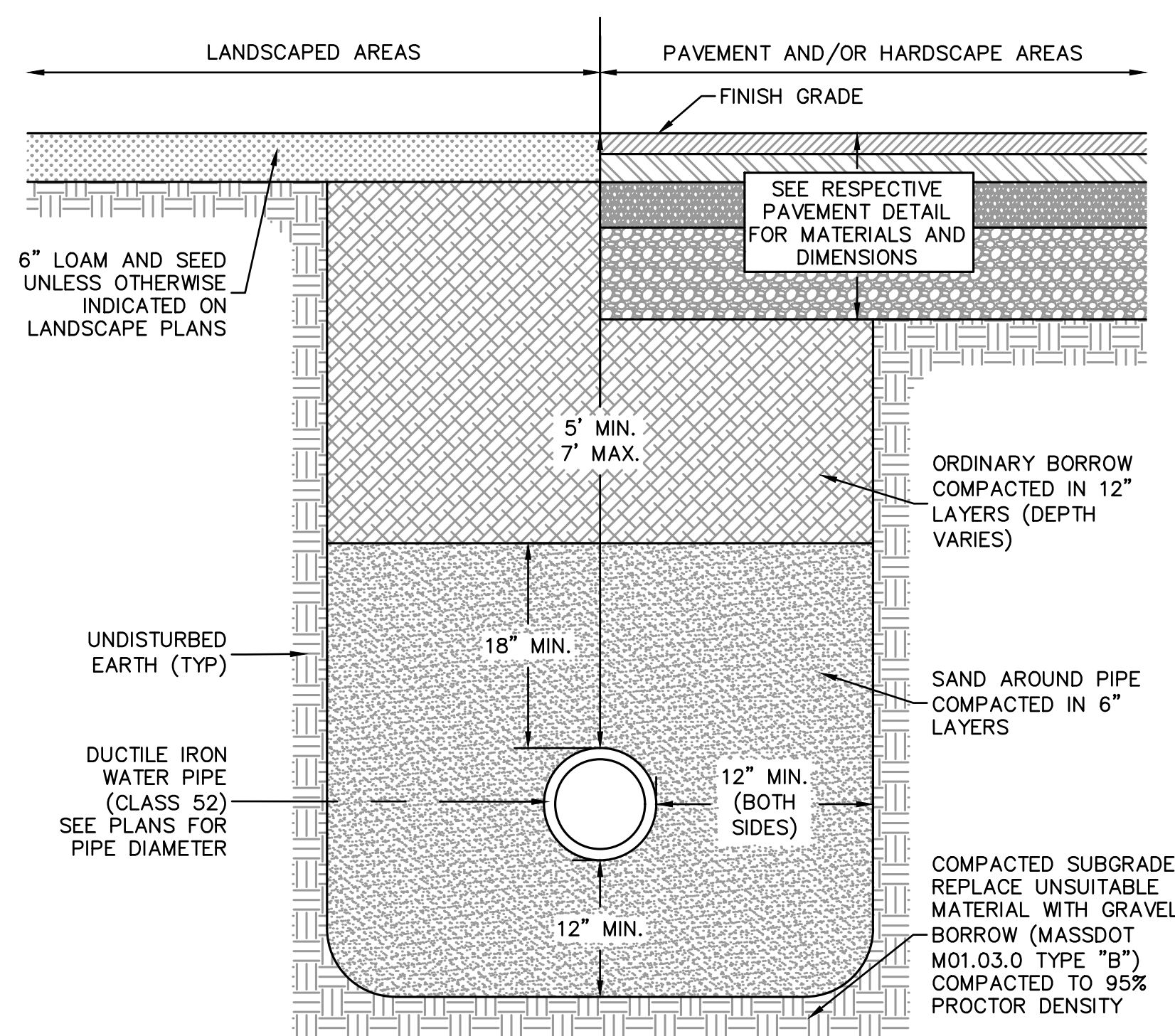
TABLE OF BEARING AREAS IN SQUARE FEET AGAINST UNDISTURBED MATERIAL FOR FITTING. *

SIZE OF MAIN (INCHES)	90° BEND (S.F.)	45° BEND (S.F.)	DEAD END (S.F.)
4	2.3	1.3	1.6
6	4.7	2.5	3.3
8	8.0	4.5	6.0
12	17.0	9.5	12.0

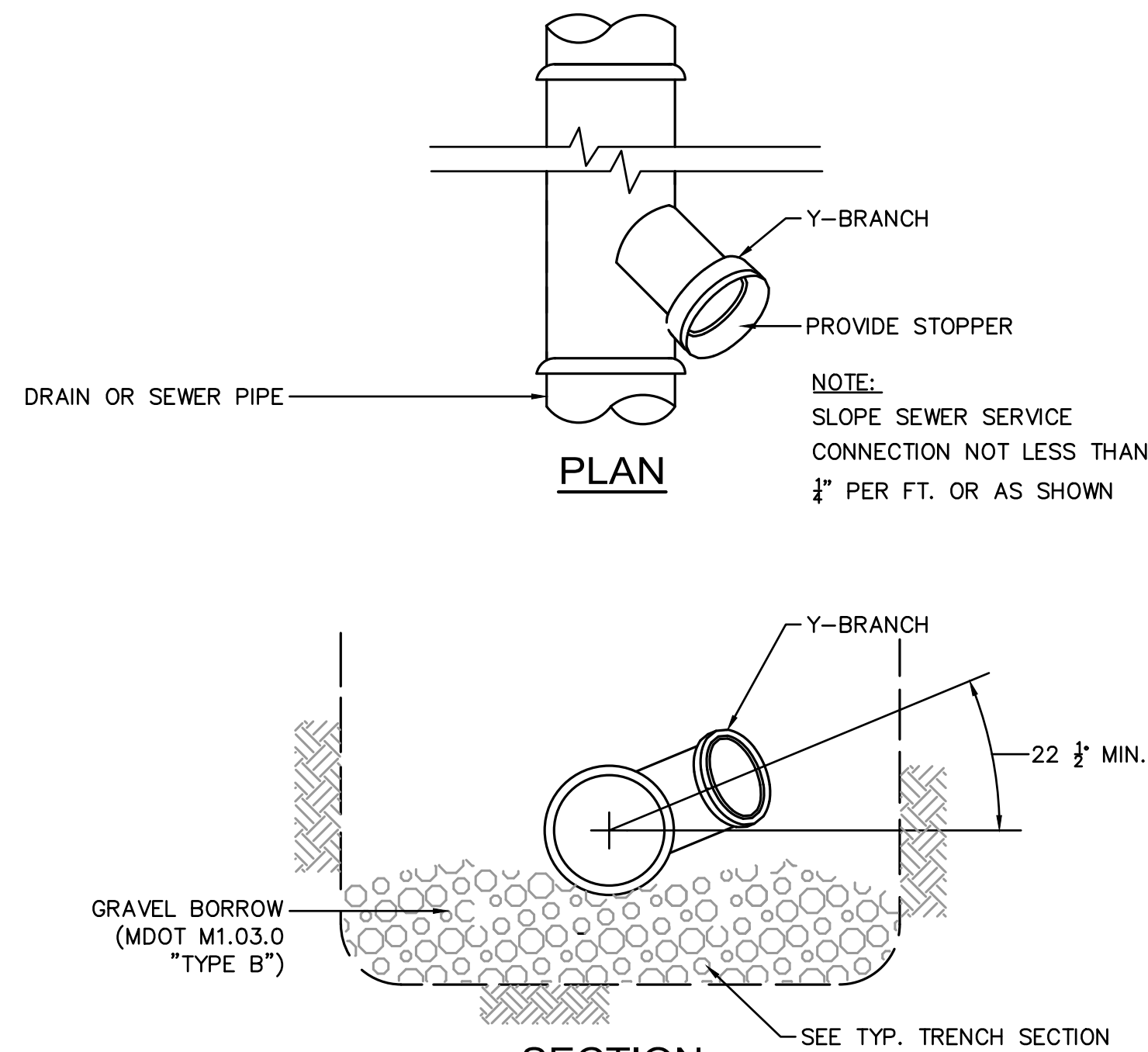
THRUST BLOCK DETAILS
NOT TO SCALE



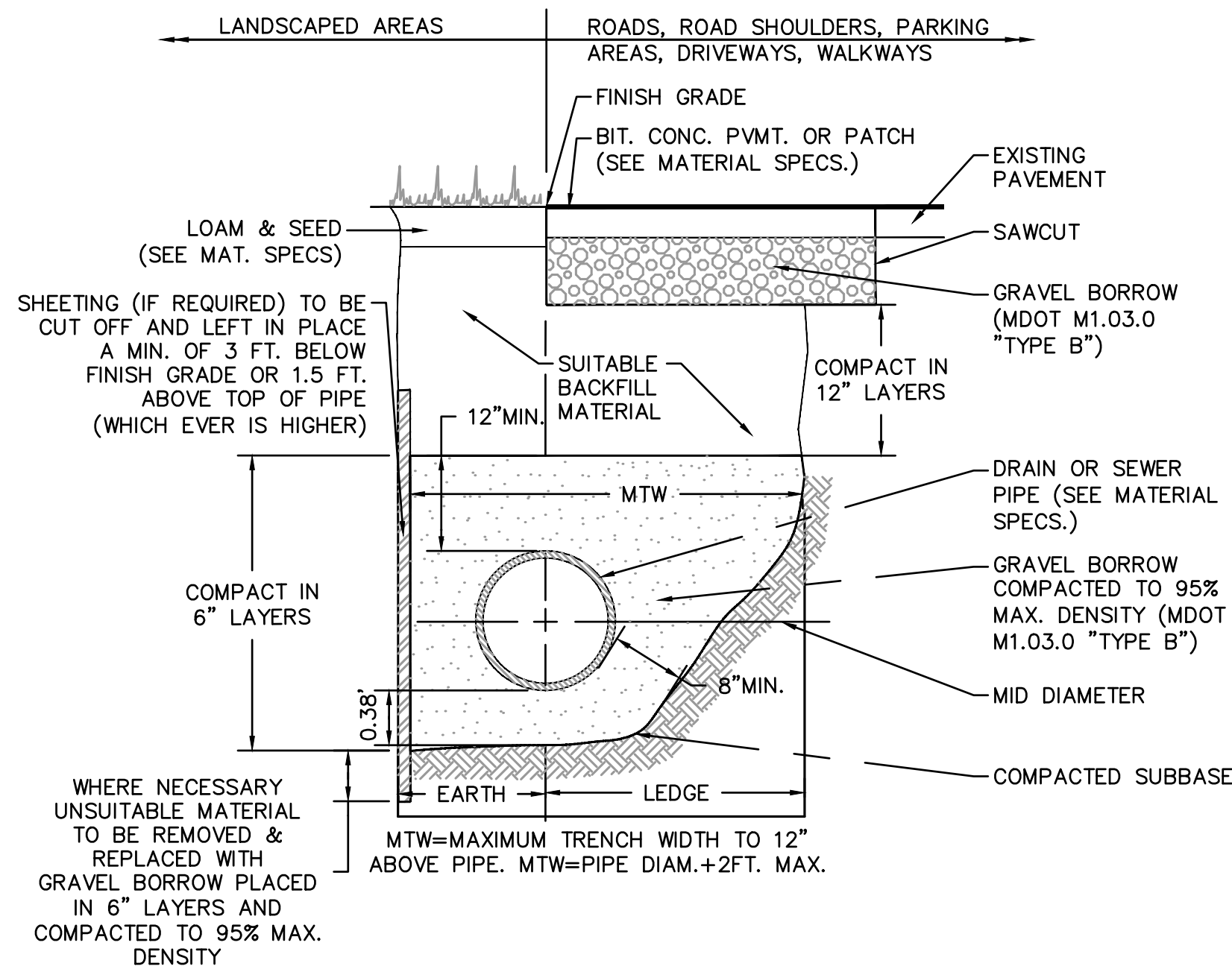
TYPICAL SEWER MANHOLE DETAIL
NOT TO SCALE



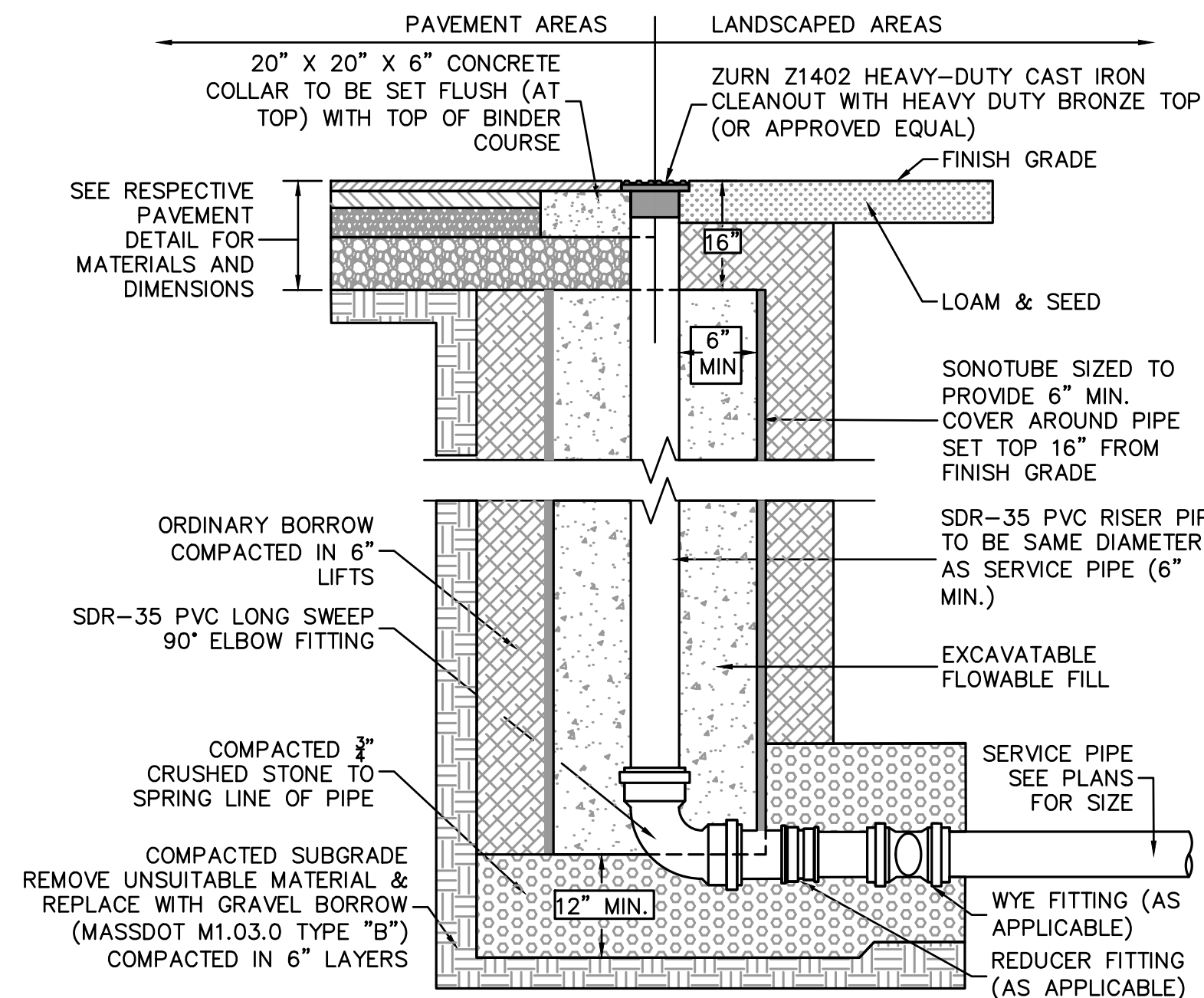
WATER TRENCH DETAIL
NOT TO SCALE



WYE BRANCH FOR PIPE SERVICE CONNECTION DETAIL
NOT TO SCALE



STANDARD TRENCH DETAIL FOR UTILITY PIPE
NOT TO SCALE



- NOTES:
1. REFER TO THE PAVEMENT SECTION DETAIL AND/OR LANDSCAPE SECTION DETAIL FOR SURFACE MATERIALS AND DIMENSIONS

CLEANOUT DETAIL
NOT TO SCALE

THE CENTER
AT 10 ELM
COMMUNITY/
STREET
SENIOR CENTER

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

GIRLIA

Gorman Richardson Lewis Architects
239 South Street
Hopkinton, MA 01748
www.griarchitects.com

© COPYRIGHT 2020

ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS APPEARING HEREIN SHALL REMAIN THE PROPERTY OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC. AND AS SUCH IS NOT TO BE REPRODUCED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN CONSENT OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC.

Date: 12/21/2020

Proj. No.: 2020120.01

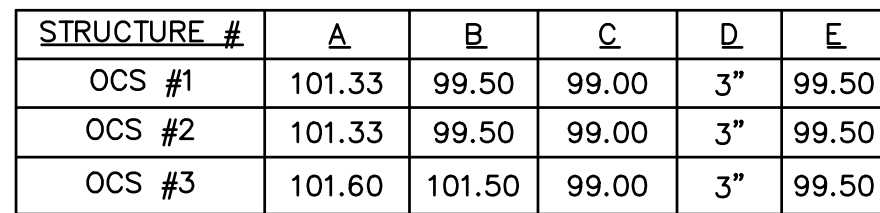
Scale: AS NOTED

Drawn By: BB

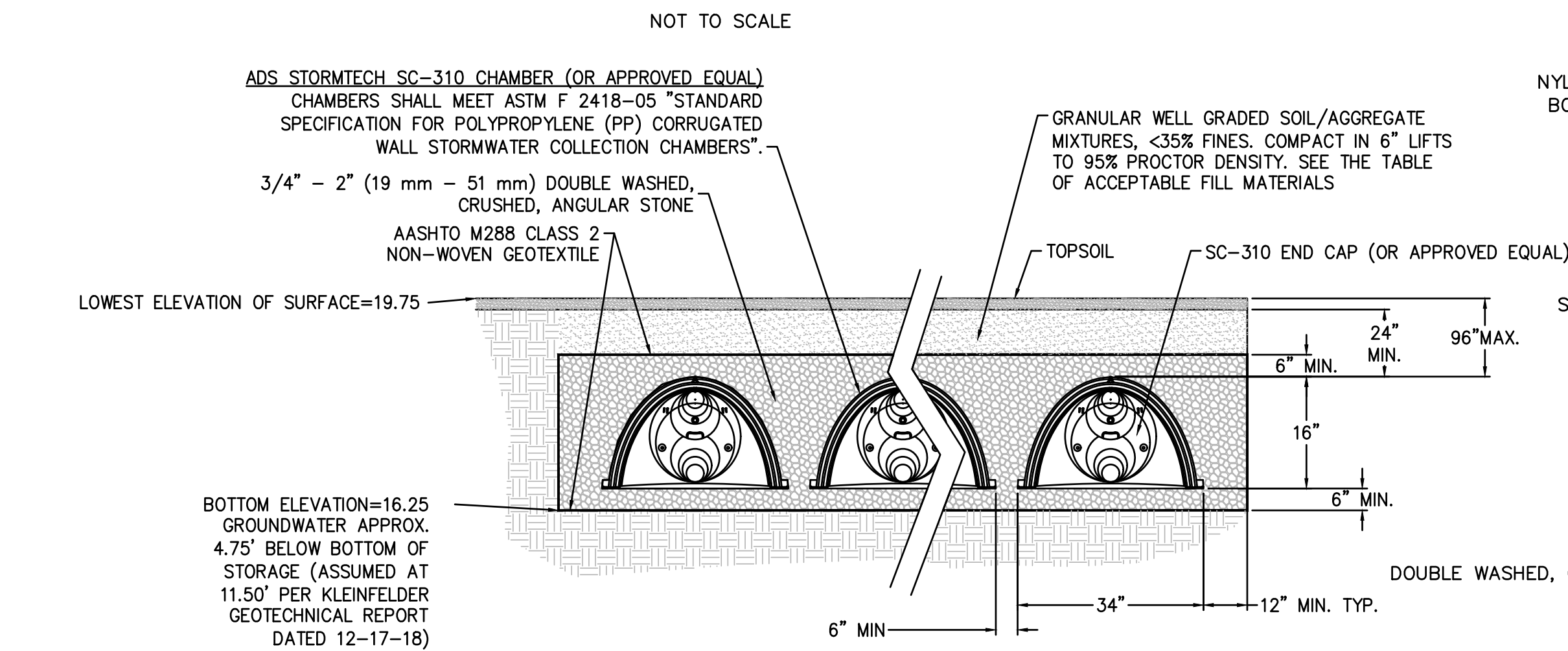
Checked By: DC

CIVIL DETAILS IV

C-604



9/4/2020 6:06:19 PM C:_Revit Local\10 Elm St. dsoliman@griarchitects.com.rvt



CROSS SECTION

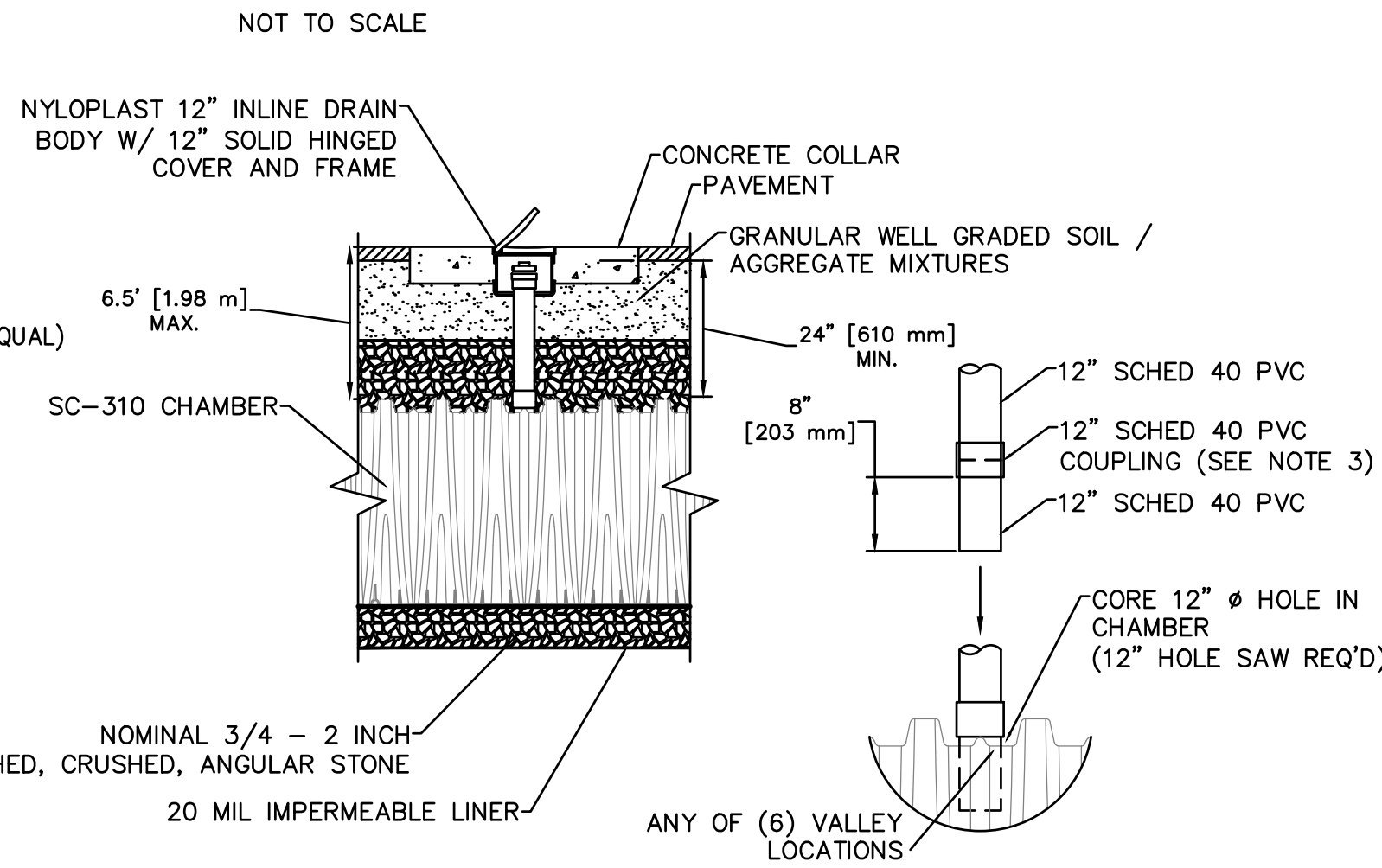
NOT TO SCALE

NOTES:

- 1) DETAILS PROVIDED ARE FOR GENERAL REFERENCE PURPOSES ONLY. THE CONTRACTOR SHALL COORDINATE WITH THE MANUFACTURER ON THE DESIGN SHOP DRAWINGS TO BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- 2) THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
- 3) PERIMETER STONE MUST ALWAYS BE BROUGHT UP EVENLY WITH BACKFILL OF BED. PERIMETER STONE MUST EXTEND HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH STRAIGHT OR SLOPED SIDEWALLS.
- 4) INSPECTION PORTS MAY BE CONNECTED THROUGH ANY OF (6) CHAMBER CORRUGATION VALLEYS
- 5) ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

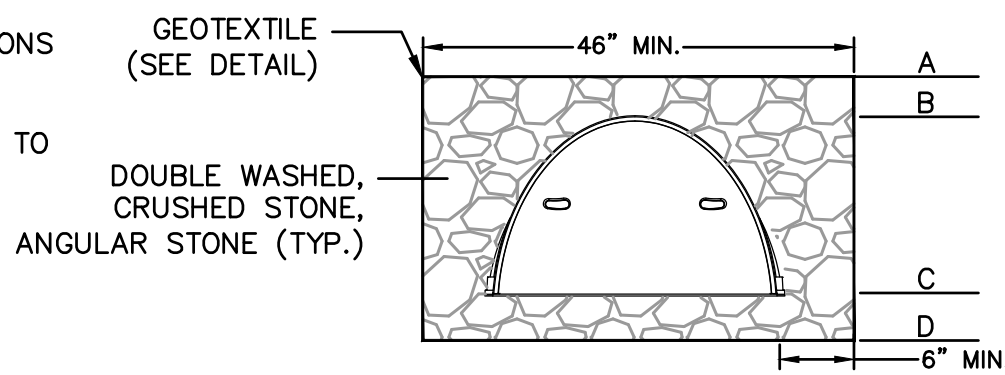
STORMTECH SC-310
SUBSURFACE INFILTRATION SYSTEM

NOT TO SCALE



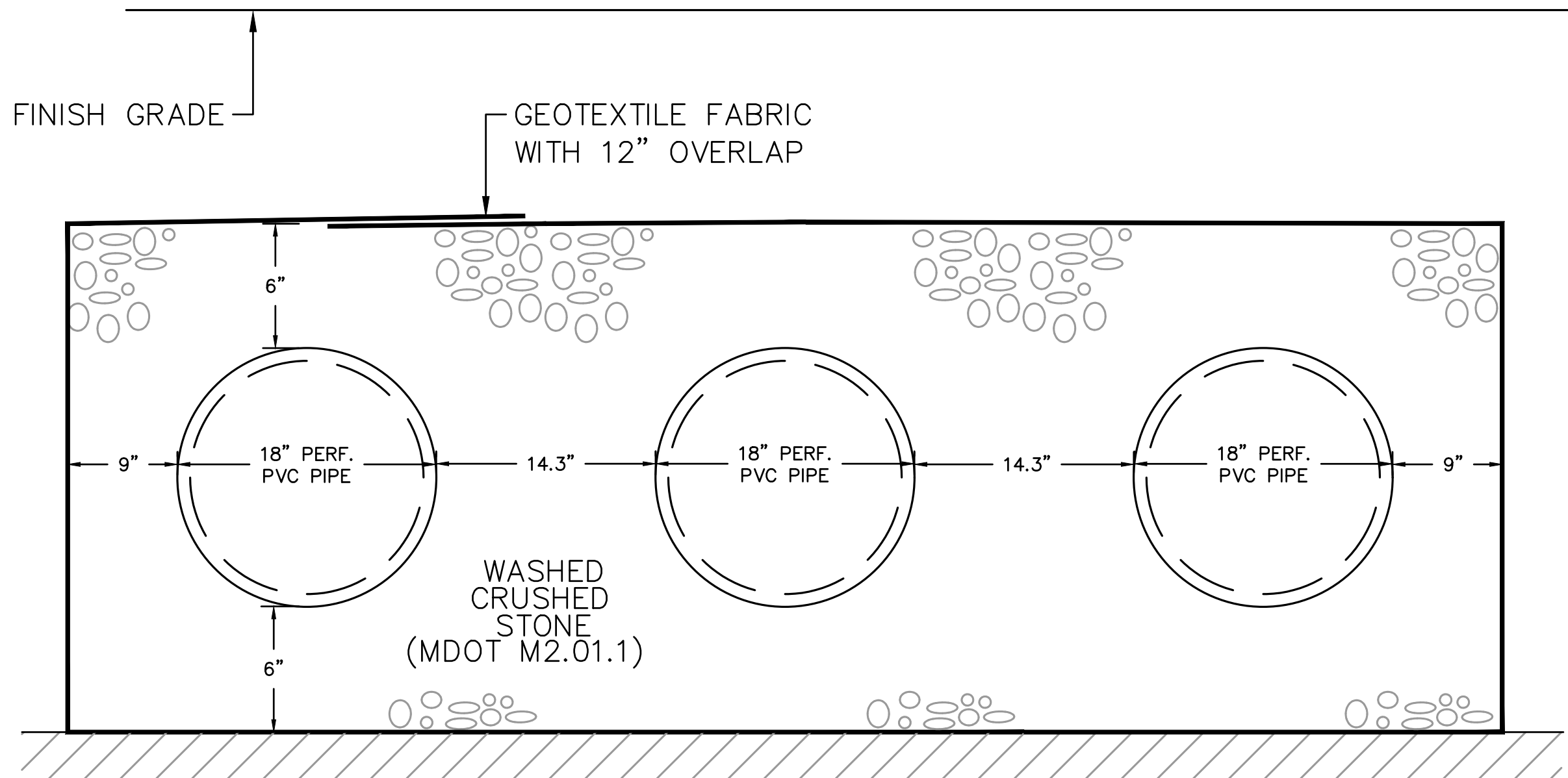
INSPECTION PORT

CONNECTION DETAIL
NTS



ELEVATION SECTION

SYSTEM	ELEVATIONS			
	A	B	C	D
SYSTEM #1 (49 CHAMBERS)	103.00	100.83	99.50	99.00
SYSTEM #2 (81 CHAMBERS)	103.00	100.83	99.50	99.00
SYSTEM #3 (9 ~18" PIPES)	103.00	99.50	99.50	99.00



PIPE & STONE STORAGE DETAIL

NOT TO SCALE

THE CENTER
AT 10 ELM
COMMUNITY/
STREET
SENIOR CENTER

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.griarchitects.com

© COPYRIGHT 2020

ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS APPEARING HEREIN SHALL REMAIN THE PROPERTY OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC. AND AS SUCH IS NOT TO BE REPRODUCED, COPIED, ANY FORM OR ENCLOSED OR OTHERWISE USED WITHOUT THE EXPRESS WRITTEN CONSENT OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC.

ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT INCLUDE BUT ARE NOT LIMITED TO, ERRORS AND OMISSIONS, DESIGN CALCULATIONS AND DIMENSIONS, DATA TRANSMISSION, OR DATA TRANSLATION.

Date: 12/21/2020

Proj. No.: 2020120.01

Scale: AS NOTED

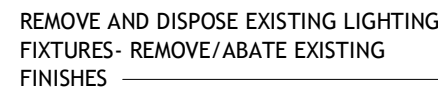
Drawn By: BB

Checked By: DC

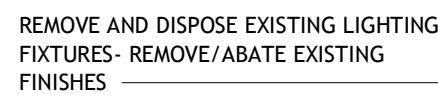
CIVIL DETAILS VII

C-606

2020120.01 - TOWN OF BOXFORD THE CENTER AT 10 ELM STREET COMMUNITY/ SENIOR CENTER - SCHEMATIC DESIGN - 09/24/2020



2 SECOND FL
SCALE: 3/16" = 1'-0"



1 **FIRST FLOOR**
SCALE: 3/16" = 1'-0"

GENERAL PLAN DEMOLITION NOTES














1. UNLESS OTHERWISE INDICATED, DASHED LINES ON THESE DRAWING REPRESENT ITEMS TO BE REMOVED, SUCH AS WALLS, DOORS, WINDOWS, ETC.
2. CONSTRUCTION MANAGER IS RESPONSIBLE FOR COORDINATING ALL SUBCONTRACTORS DEMOLITION, CUTTING, PATCHING, ETC.
3. BUILDING SYSTEMS/CONTROLS TO BE MADE SAFE & PROTECTED THROUGHOUT DEMOLITION.
4. OWNER SHALL IDENTIFY ANY ITEMS TO BE SALVAGED.
5. THE CONTRACTOR IS TO STATE THESE ITEMS IN A LOCATION AS DIRECTED BY OWNER. OTHERWISE ALL DEMOLITION DEBRIS IS TO BE REMOVED AND DISPOSED OF IN A LEGAL MANNER.
6. CAP OFF ALL EXISTING PLUMBING TO BE REMOVED, IN A SECURED AND COVERED CONDITION, IN ACCORDANCE WITH THE DOCUMENTS.
7. REMOVE EXISTING WALL, DOOR AND WINDOW ASSEMBLIES SHOWN DASHED IN THEIR ENTIRETY. PROTECT ALL EXISTING ASSEMBLIES TO REMAIN AND PROVIDE TEMPORARY SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF ASSEMBLIES TO REMAIN.
8. THE CONSTRUCTION MANAGER SHALL PERFORM DEMOLITION WORK IN ACCORDANCE TO CODES AND REGULATIONS AS DESCRIBED IN THE DOCUMENTS. BEFORE UNDERTAKING DEMOLITION ALL INFRASTRUCTURE IS TO BE MADE SAFE FOR DEMOLITION AND TEMPORARY LIGHTING IS TO BE PROVIDED IF EXISTING LIGHTS CANNOT BE USED FOR LIGHTING.
9. IDENTIFICATION AND DISPOSAL OF ANY HAZARDOUS MATERIALS IS BEYOND THE SCOPE OF THIS SET OF DOCUMENTS AND IS TO BE COVERED UNDER A SEPARATE CONTRACT IF REQUIRED. NOTIFY THE OWNER OF ANY HAZARDOUS MATERIALS BEFORE REMOVAL.
10. ALL DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OR RECYCLED AS PER ALL APPLICABLE RULES AND REQUIREMENTS AND THE ENTIRE PROJECT AREA SHALL BE KEPT CLEAN AND ORDERLY. CLEANING SHALL BE EXECUTED DAILY.
11. ALL ELECTRICAL CIRCUITS SHUT OFF FOR PURPOSES OF SAFE DEMOLITION WILL BE RESETTING ORDER.
12. COORDINATE ALL SHUT DOWNS WITH OWNER.
13. COORDINATE WITH MEP DEMOLITION DRAWINGS.

10 ELM STREET
BOXFORD, MA 01921

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

[illegible]

DEMOLITION PLAN LEGEND	
	EXISTING DOOR TO REMAIN
	DOOR TO BE REMOVED
	EXISTING INTERIOR WINDOW TO REMAIN
	INTERIOR WINDOW TO BE REMOVED
	DEMOLITION NOTE
	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
	EXISTING STAIR TO REMAIN
	EXISTING STAIR TO BE REMOVED
	EXISTING FIRE EXTINGUISHER/F.E. CABINET TO REMAIN
	EXISTING FIRE EXTINGUISHER/F.E. CABINET TO BE RELOCATED/REMOVED
	LIMIT OF FLOOR FINISH
	NOT IN CONTRACT

© COPYRIGHT 2020

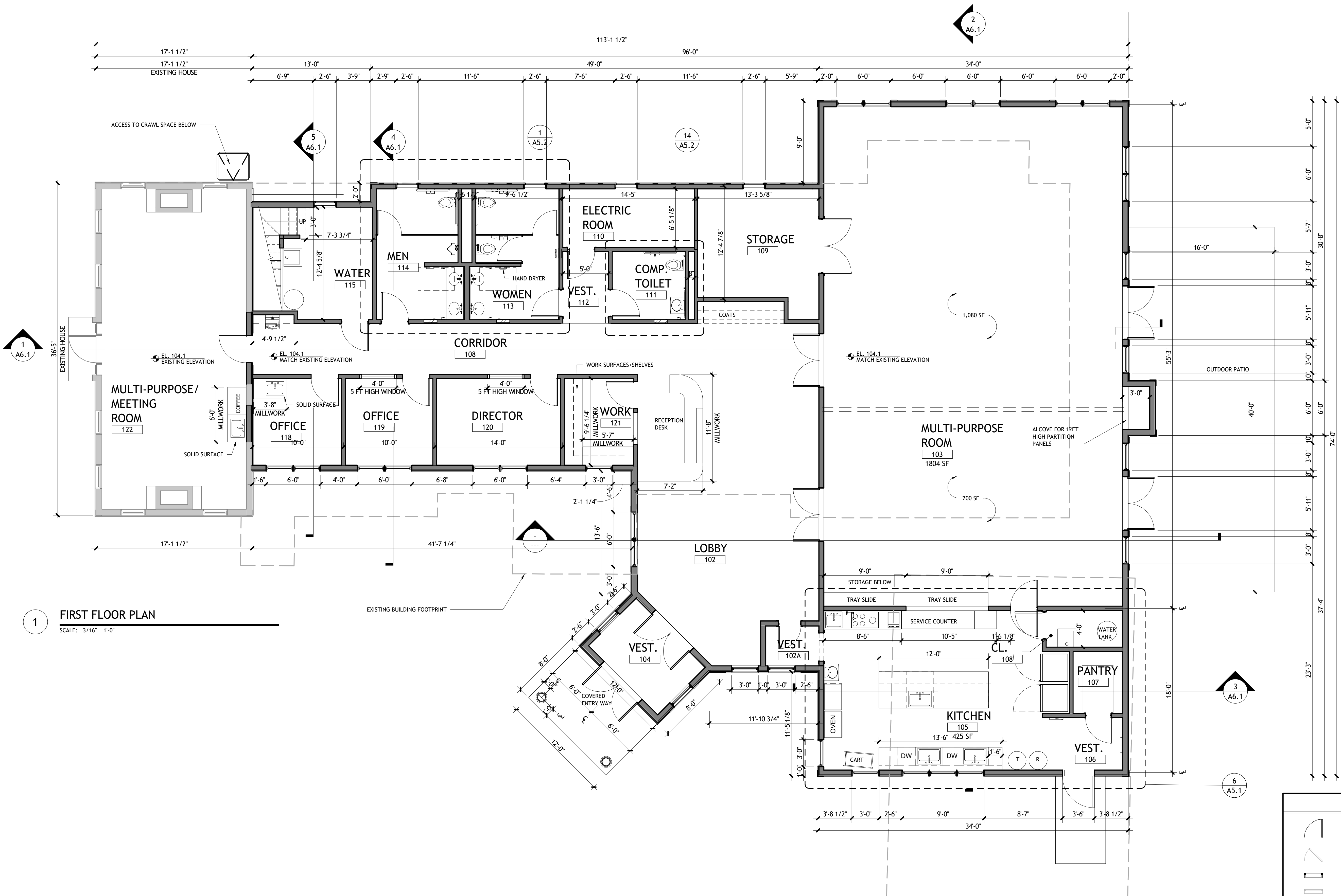
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS APPEARING HEREIN SHALL REMAIN THE PROPERTY OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC. AND SUCH INFORMATION IS NOT TO BE REPRODUCED IN ANY FORM OR DISCLOSED OR OTHERWISE USED WITHOUT THE EXPRESS WRITTEN CONSENT OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC.

ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT INCLUDE, BUT NOT LIMITED TO, OMISSIONS AND OMISSIONS, DESIGN CALCULATIONS AND DIMENSIONS, DATA TRANSMISSION, OR DATA TRANSLATION.

Date:	12/22/2020
Proj. No.:	2020120.01
Scale:	As indicated
Drawn By:	DS / JAW
Checked By:	GO

FIRST AND SECOND FLOOR DEMOLITION PLANS

AD1.1



1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

ALL NEW DOORS AND WINDOW HEADS ARE 8FT

EXTERIOR WALL COMPOSITION:

6 INCH STUDS+ 5/8" PLYWOOD SHEATHING+
AIR/WATER BARRIER+ 1" HARDIPLANK
CLAPBOARD SIDING
+ VAPOR RETARDANT AND 5/8" GYP ON THE
INSIDE

- GENERAL PLAN NOTES**
- 1.) ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE COMMONWEALTH OF MASSACHUSETTS BUILDING CODE AND ANY OTHER APPLICABLE CODES AND REGULATIONS.
 - 2.) THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND/OR DAMAGED CORE BUILDING ELEMENTS THAT COULD AFFECT PROPER EXECUTION OF NEW WORK.
 - 3.) NOTIFY THE ARCHITECT OF FLOOR CRACKS LARGER THAN 1/8" IN WIDTH.
 - 4.) ALL DIMENSIONS ARE TO THE FACE OF EXISTING WALL AND CENTERLINE OF INTERIOR STUD WALL OR OPENINGS UNLESS OTHERWISE NOTED.
 - 5.) REFER TO MEP DRAWINGS FOR REMOVAL / RELOCATION OF ALL ELECTRICAL, MECHANICAL & FIRE DETECTION EQUIPMENT, ETC.
 - 6.) REPAIR ALL DAMAGED DRYWALL LIKE NEW IN AREA OF CONSTRUCTION.
 - 7.) INSTALL WOOD BLOCKING IN NEW WALLS AS REQUIRED FOR WALL MOUNTING EQUIPMENT AND MILLWORK.
 - 8.) ALL NEW WALL PARTITIONS ARE TYPE 1 UNLESS OTHERWISE NOTED.
 - 9.) REFER TO A10.1 SHEETS FOR FINISHES.

PLAN LEGEND	
	NEW DOOR
	EXISTING DOOR TO REMAIN
	NEW WINDOW
	EXISTING WINDOW TO BE REMAIN
	DEMO/CONST NOTE
	NEW WALL
	EXISTING WALL TO REMAIN
	NEW STAIR
	EXISTING STAIR TO REMAIN
	EXISTING FIRE EXTINGUISHER/F.E. CABINET TO REMAIN
	NEW/RELOCATED FIRE EXTINGUISHER/F.E. CABINET
	LIMIT OF FLOOR FINISH
	NOT IN CONTRACT

**THE CENTER
AT 10 ELM
COMMUNITY/
SENIOR CENTER**

10 ELM STREET
BOXFORD, MA 01921

**TOWN OF
BOXFORD**

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

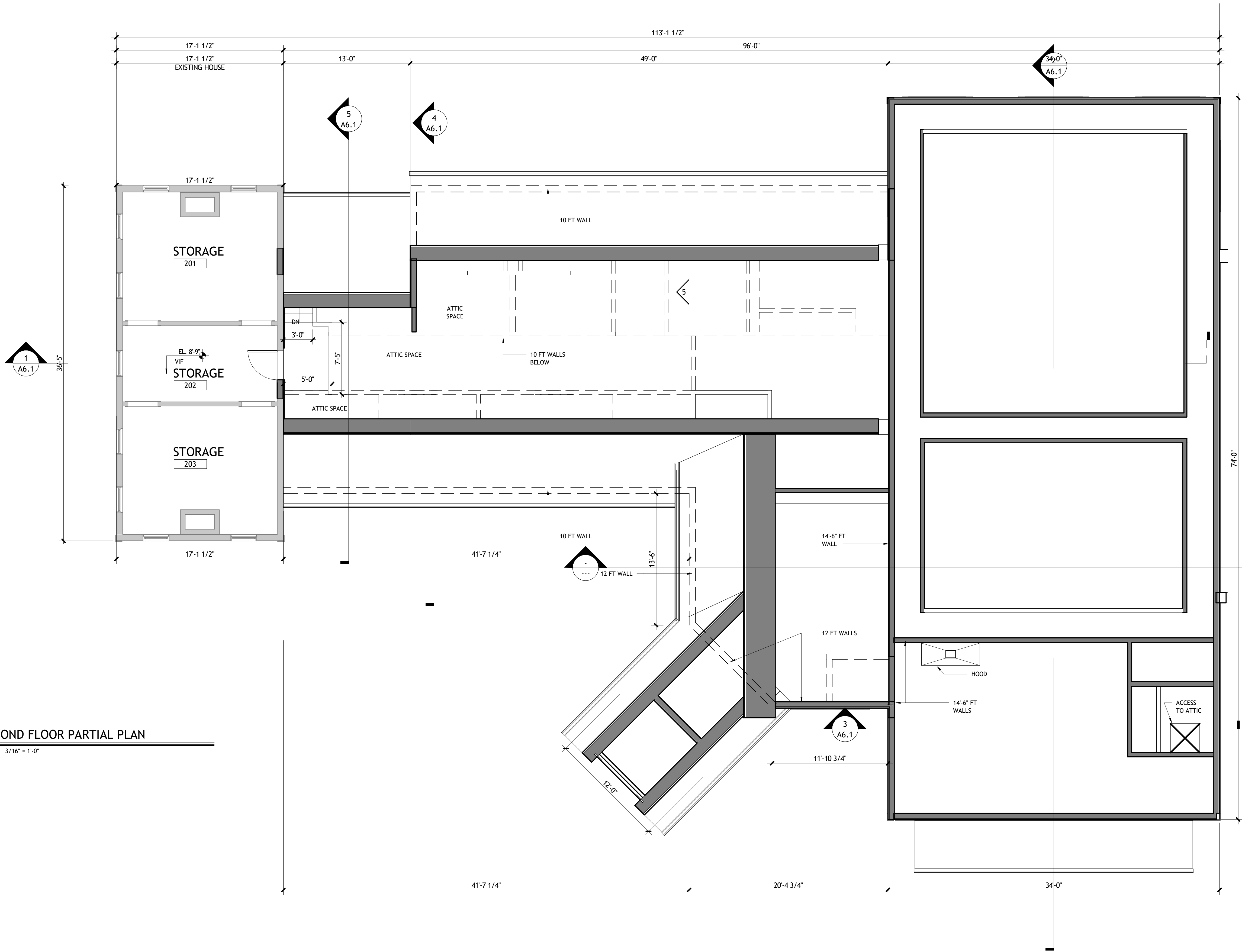
No.	Description	Date

© COPYRIGHT: 2020
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
HEREIN SHALL REMAIN THE PROPERTY OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
AND SHALL NOT BE REPRODUCED, COPIED,
AND FOR ANY PURPOSES OR OTHERWISE USED
WITHOUT THE EXPRESS WRITTEN CONSENT
OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
HEREIN IS NOT GUARANTEED AGAINST ERRORS THAT
INCLUDE, BUT NOT LIMITED TO, OMISSIONS, AND
DIMENSIONS, DESIGN CALCULATIONS AND DIMENSIONS,
OR DATA TRANSLATION.

Date: 12/22/2020
Proj. No.: 2020120.01
Scale: As indicated
Drawn By: DS/JAW
Checked By: GO

**FIRST FLOOR
PLAN**

1 SECOND FLOOR PARTIAL PLAN
SCALE: 3/16" = 1'-0"



GENERAL PLAN NOTES		
1.)	ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE COMMONWEALTH OF MASSACHUSETTS BUILDING CODE AND ANY OTHER APPLICABLE CODES AND REGULATIONS.	
2.)	THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND/OR DAMAGED CORE BUILDING ELEMENTS THAT COULD AFFECT PROPER EXECUTION OF NEW WORK.	
3.)	NOTIFY THE ARCHITECT OF FLOOR CRACKS LARGER THAN 1/8" IN WIDTH.	
4.)	ALL DIMENSIONS ARE TO THE FACE OF EXISTING WALL AND CENTERLINE OF INTERIOR STUD WALL OR OPENINGS UNLESS OTHERWISE NOTED.	
5.)	REFER TO MEP DRAWINGS FOR REMOVAL / RELOCATION OF ALL ELECTRICAL, MECHANICAL & FIRE DETECTION EQUIPMENT, ETC.	
6.)	REPAIR ALL DAMAGED DRYWALL LIKE NEW IN AREA OF CONSTRUCTION.	
7.)	INSTALL WOOD BLOCKING IN NEW WALLS AS REQUIRED FOR WALL MOUNTING EQUIPMENT AND MILLWORK.	
8.)	ALL NEW WALL PARTITIONS ARE TYPE 1 UNLESS OTHERWISE NOTED.	
9.)	REFER TO A10.1 SHEETS FOR FINISHES.	

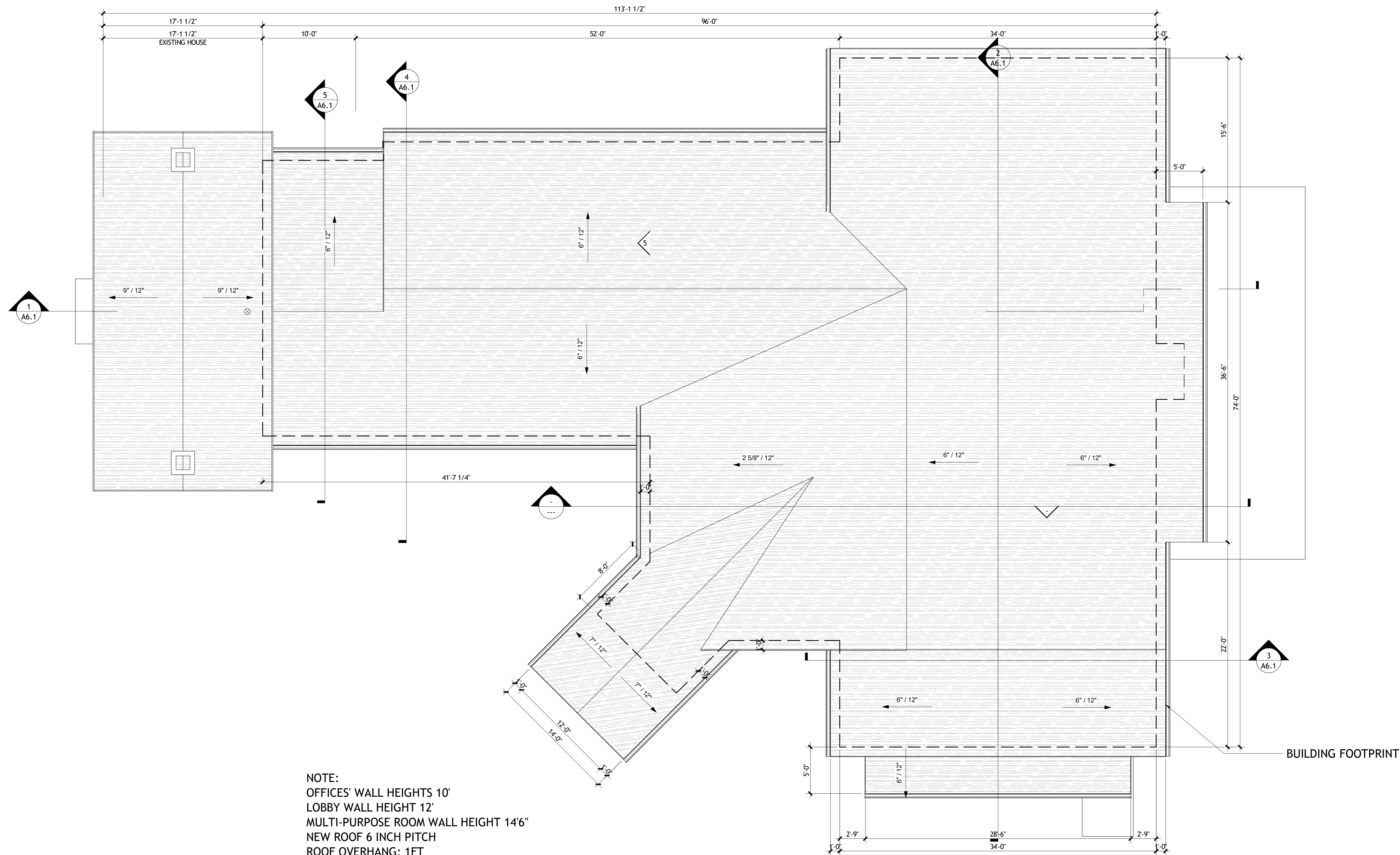
PLAN LEGEND	
	NEW DOOR
	EXISTING DOOR TO REMAIN
	NEW WINDOW
	EXISTING WINDOW TO BE REMAIN
	DEMO/CONST NOTE
	NEW WALL
	EXISTING WALL TO REMAIN
	NEW STAIR
	EXISTING STAIR TO REMAIN
	EXISTING FIRE EXTINGUISHER/F.E. CABINET TO REMAIN
	NEW/RELOCATED FIRE EXTINGUISHER/F.E. CABINET
	LIMIT OF FLOOR FINISH
	NOT IN CONTRACT

No.	Description	Date

© COPYRIGHT: 2020
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS APPEARING HEREIN SHALL REMAIN THE PROPERTY OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC. AND SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN CONSENT OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT INCLUDE, BUT ARE NOT LIMITED TO, OMISSIONS, DIMENSIONS, DESIGN CALCULATIONS AND DIMENSIONS, DATA TRANSMISSION, OR DATA REDUNDANCY.

Date: 12/22/2020
Proj. No.: 2020120.01
Scale: As indicated
Drawn By: DS/JAW
Checked By: GO

SECOND FLOOR/
ATTIC PLAN



1 ROOF PLAN
SCALE: 3/16" = 1'-0"

THE CENTER
AT 10 ELM
COMMUNITY/
SENIOR CENTER

10 ELM STREET
BOXFORD, MA 01921

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

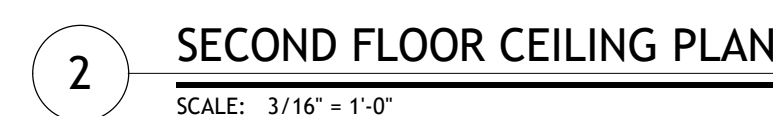
PROJECT CLIENT FIRM KEY PLAN REVISIONS COPYRIGHT SEAL / ORIENTATION DATA TITLE SHEET











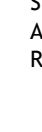








No.	Description	Date

© COPYRIGHT 2020
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
APPEARING HEREIN SHALL REMAIN THE PROPERTY OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
AND FORM OR BE DISCLOSED OR OTHERWISE USED
WITHOUT THE EXPRESS WRITTEN CONSENT OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT
INCLUDE, BUT NOT LIMITED TO, DESIGN, CONSTRUCTION,
DIMENSIONS, DESIGN CALCULATIONS AND DIMENSIONS,
DATA TRANSDUCTION, OR DATA TRANSLATION.

Date: 12/22/2020
Proj. No.: 2020120.01
Scale: 3/16" = 1'-0"
Drawn By: DS/JAW
Checked By: SR

ROOF PLAN



NEW RCP LEGEND	
	EXISTING GWB SOFFIT/CEILING
	NEW GWB SOFFIT/CEILING
	NEW CEILING GRID AND TILE
	2X2 RECESSED LIGHT FIXTURE
	2X4 SUSPENDED LIGHT FIXTURE
	8 FT FLUSHMOUNT LINEAR LIGHT FIXTURE
	4 FT FLUSHMOUNT LINEAR LIGHT FIXTURE
	LINEAR RECESSED LIGHT STRIP
	8 FT RECESSED LINEAR PERIMETER LIGHT FIXTURE (RESTROOMS)
	LIGHTED MIRROR (RESTROOMS)
	SUSPENDED LED LIGHTS- 3 SIZES, MOUNTED AT DIFFERENT HEIGHTS- (MULTI-PURPOSE ROOM)
	8" RECESSED DOWNLIGHT CAN- WET- EXTERIOR
	LENSED STRIP FOR UTILITY SPACES
	8 FT SUSPENDED LINEAR LIGHT FIXTURE
	GALLERY SYSTEM LIGHTING
	NEW SUPPLY DIFFUSER
	NEW RETURN DIFFUSER
	EXIT SIGN
	NEW SPRINKLER

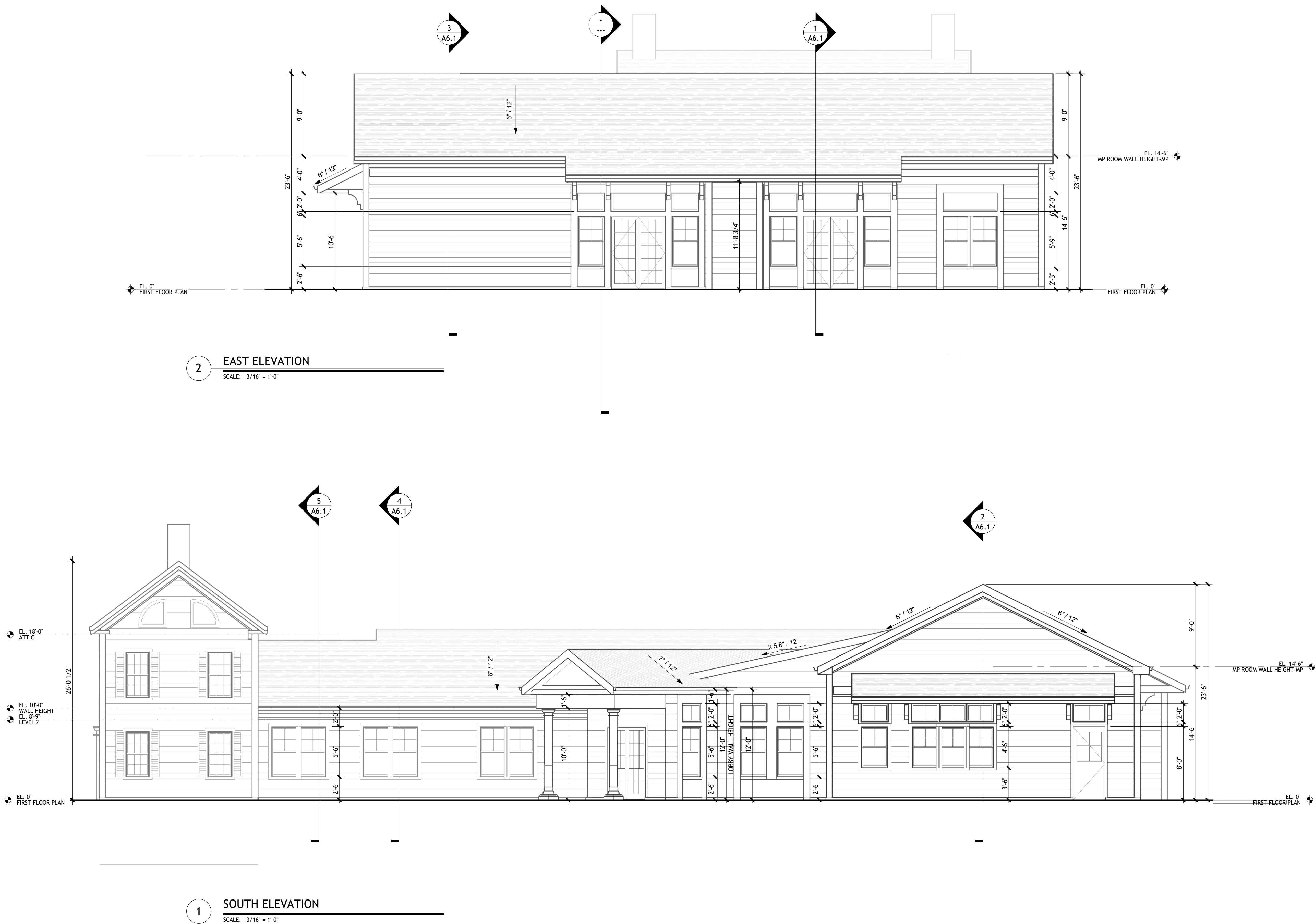
[illegible]

© COPYRIGHT 2020
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHIC
APPEARING HEREIN SHALL REMAIN THE PROPERTY OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
AND SUCH INFORMATION SHALL NOT BE REPRODUCED
IN ANY FORM OR BY ANY MEANS, WITHOUT THE
WITHOUT THE EXPRESS WRITTEN CONSENT OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.

ALL DRAWN OR WRITTEN INFORMATION OR GRAPHIC
HEREIN IS NOT GUARANTEED AGAINST DEFECTS THAT
MAY BE CAUSED BY, BUT NOT LIMITED TO, OMISSIONS,
DESIGN CALCULATIONS AND DIMENSIONS
DATA TRANSMISSION, OR DATA TRANSLATION.

Date:	12/22/2020
Proj. No.:	2020120.01
Scale:	As indicated
Drawn By:	DS/JAW
Checked By:	GO/SR

FIRST AND
SECOND FLOOR
REFLECTED
CEILING PLAN



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

THE CENTER
AT 10 ELM
COMMUNITY/
SENIOR CENTER

10 ELM STREET
BOXFORD, MA 01921

TOWN OF
BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

PROJECT

CLIENT

FIRM

KEY PLAN

REMARKS

REVISIONS

COPYRIGHT

SEAL / ORIENTATION

DATA

TITLE

SHEET

2020120.01 - TOWN OF BOXFORD THE CENTER AT 10 ELM COMMUNITY/ SENIOR CENTER - DESIGN DEVELOPMENT SET - 12/22/2020

12/22/2020

2020120.01

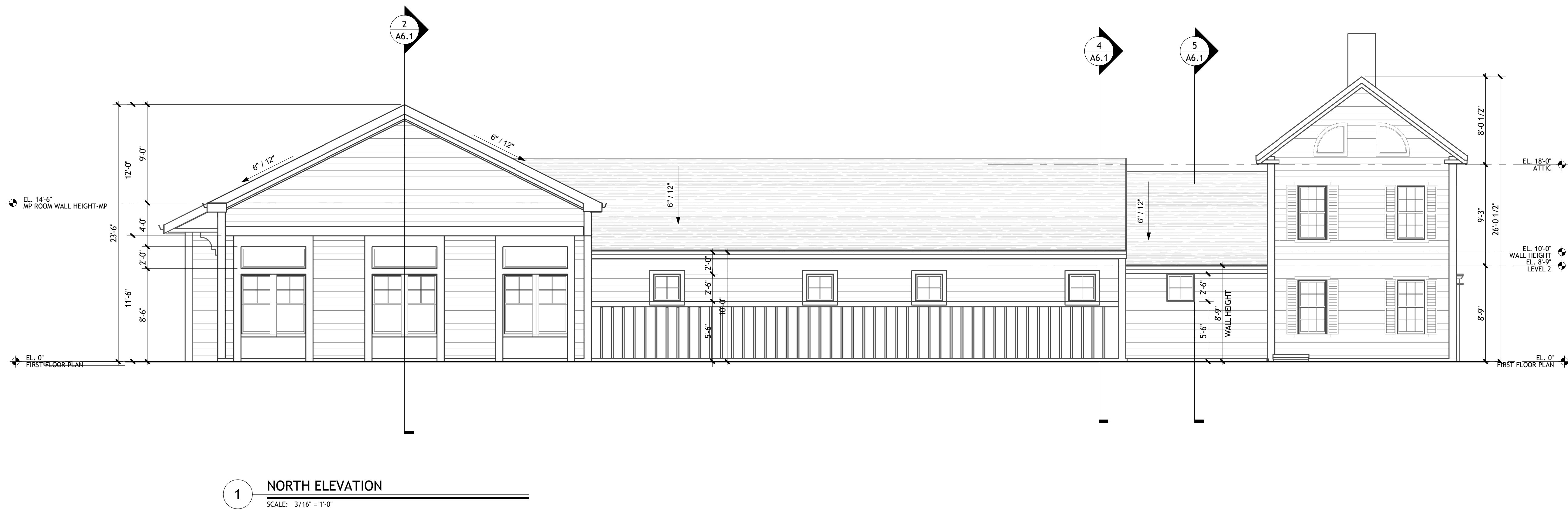
3/16" = 1'-0"

DS

GO/SR

SOUTH AND EAST ELEVATIONS

A3.1



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

THE CENTER AT 10 ELM COMMUNITY/ SENIOR CENTER

10 ELM STREET
BOXFORD, MA 01921

TOWN OF BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

G | R | L | A

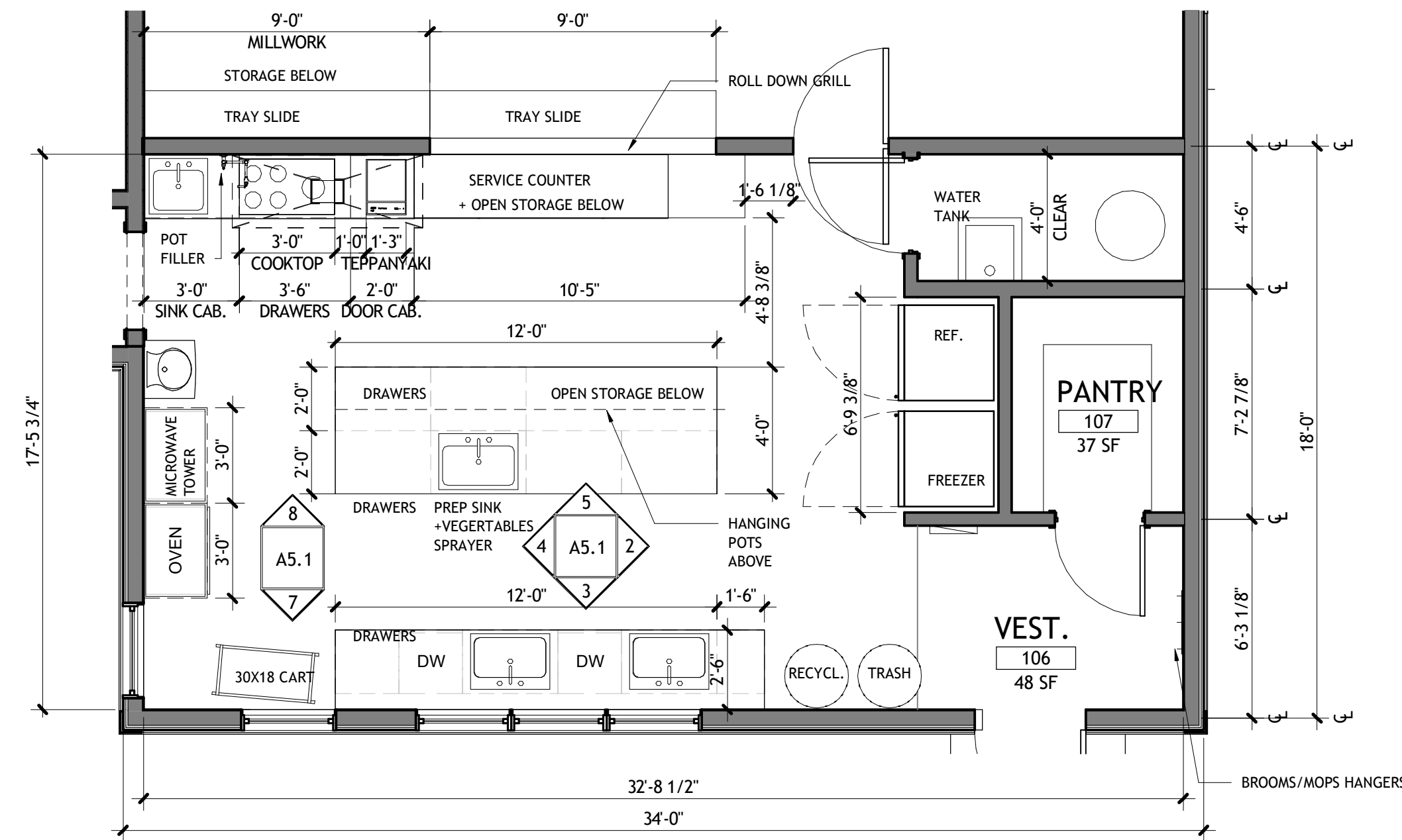
Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

© COPYRIGHT: 2020
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
HEREIN SHALL REMAIN THE PROPERTY OF
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
AND SHALL NOT BE REPRODUCED, COPIED,
AND FOR NO DISCLOSED OR OTHERWISE USED
WITHOUT THE EXPRESS WRITTEN CONSENT
OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS
HEREIN IS NOT GUARANTEED AGAINST DEFECTS
OR OMISSIONS, BUT IS LIMITED TO THE DESIGN
AND DIMENSIONS, DESIGN CALCULATIONS AND DIMENSIONS,
AND DATA TRANSLATION, OR DATA TRANSLATION.

Date: 12/22/2020
Proj. No.: 2020120.01
Scale: 3/16" = 1'-0"
Drawn By: DS/JAW
Checked By: GO

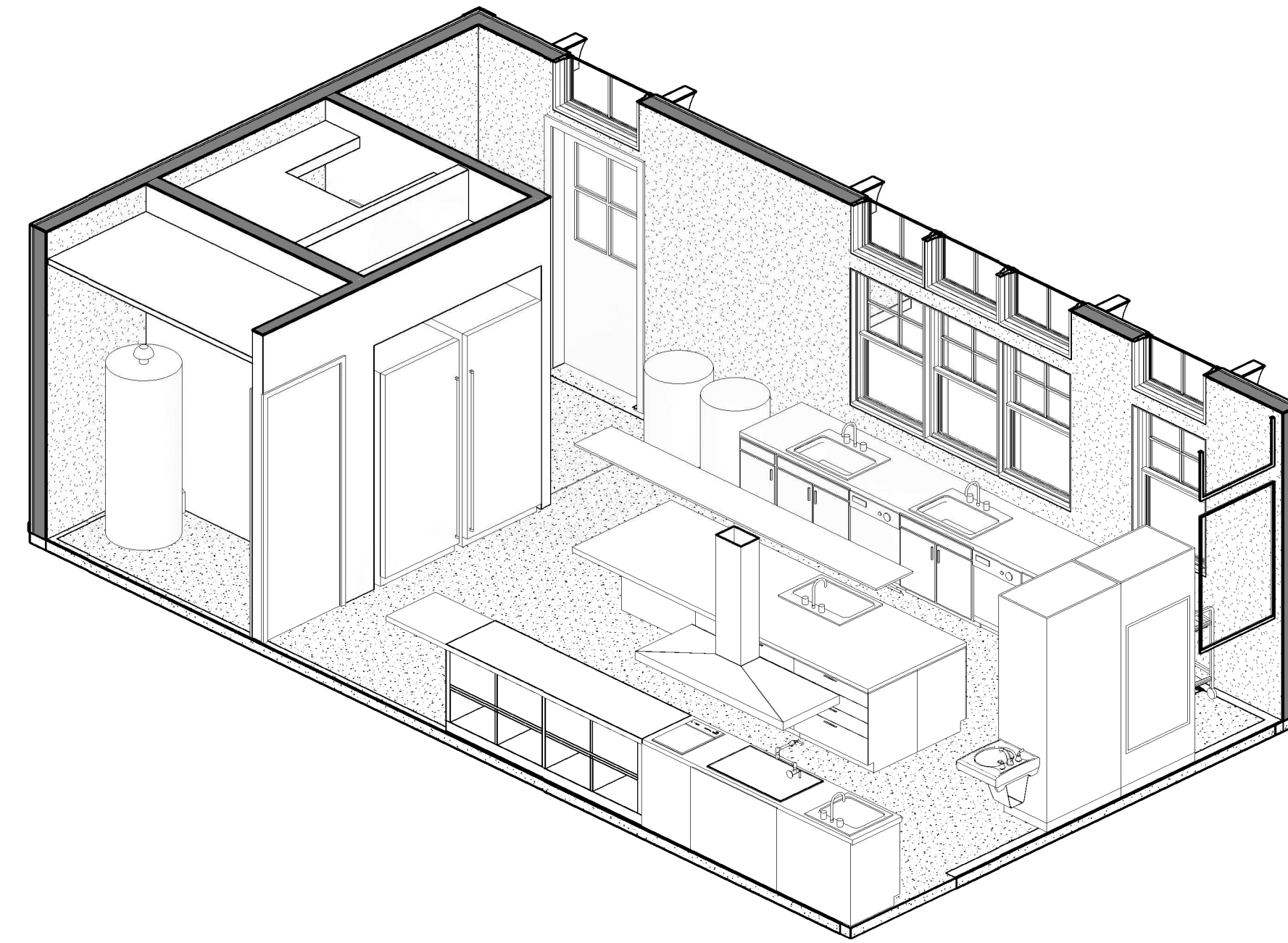
NORTH AND WEST ELEVATIONS

A3.2

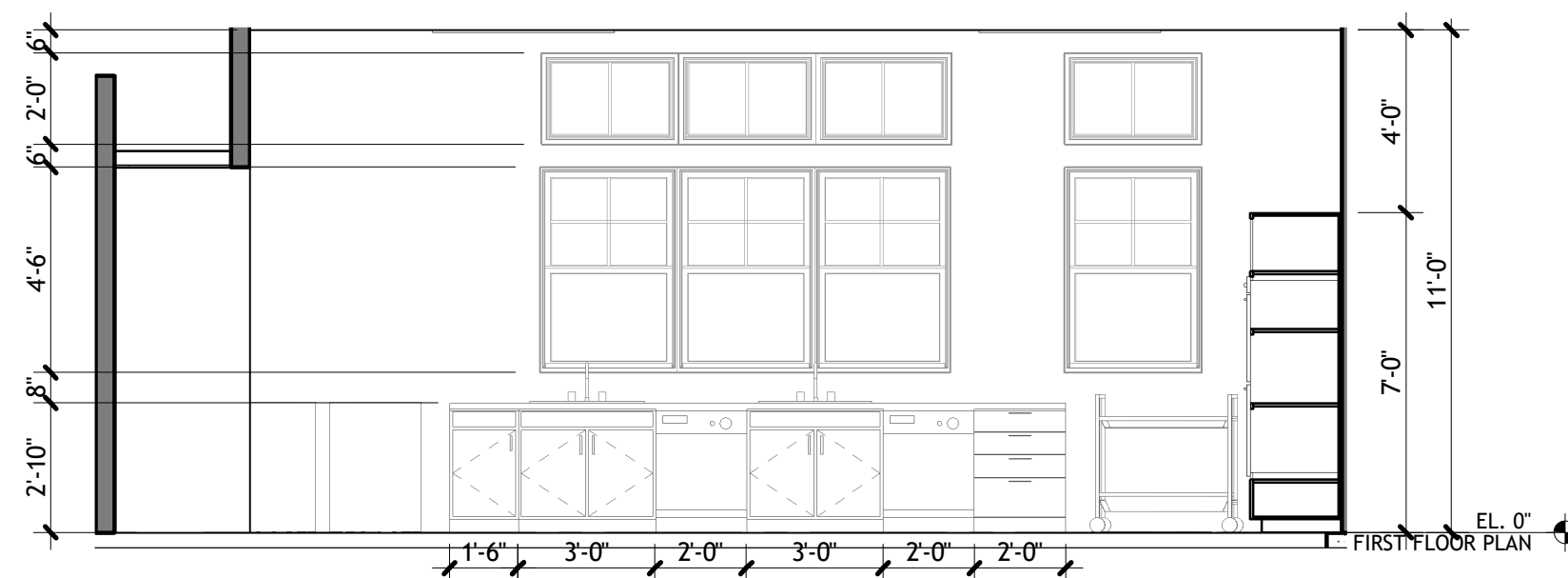


6 ENLARGED KITCHEN PLAN

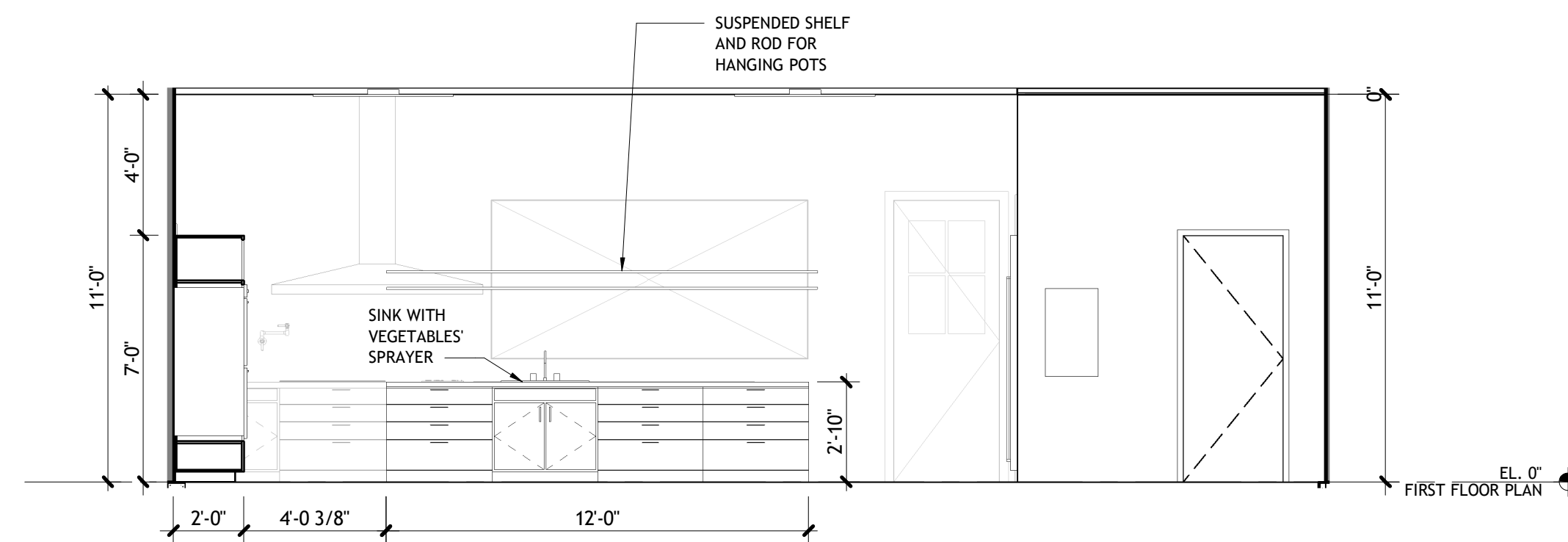
SCALE: 1/4" = 1'-0"



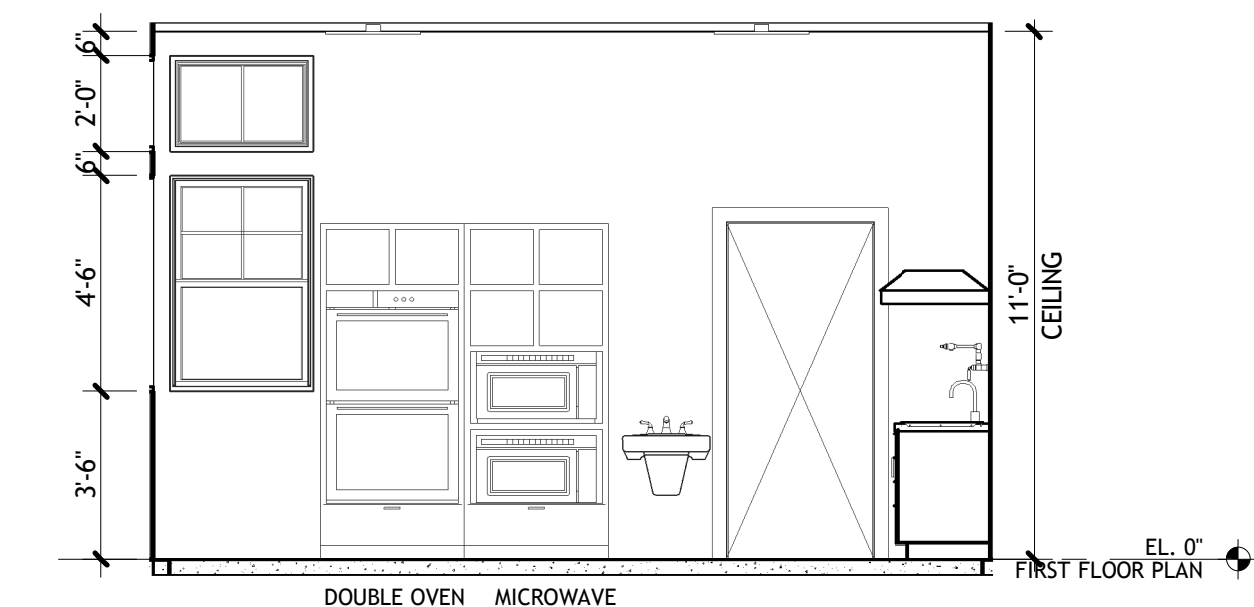
1 KITCHEN AXON 1



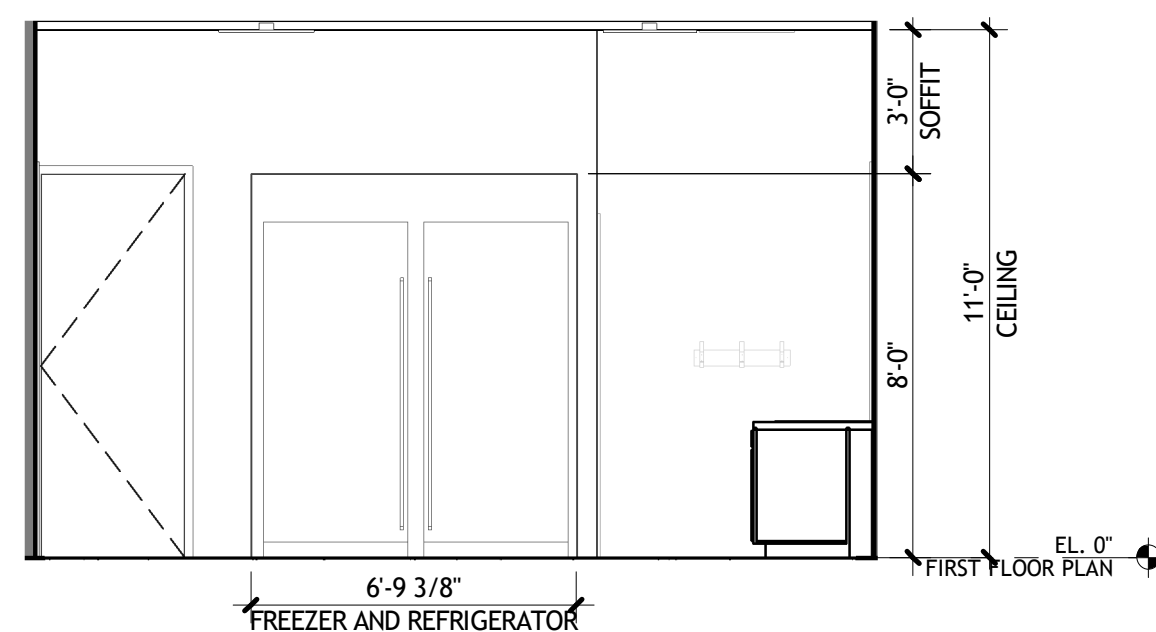
3 KITCHEN ISLAND- SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



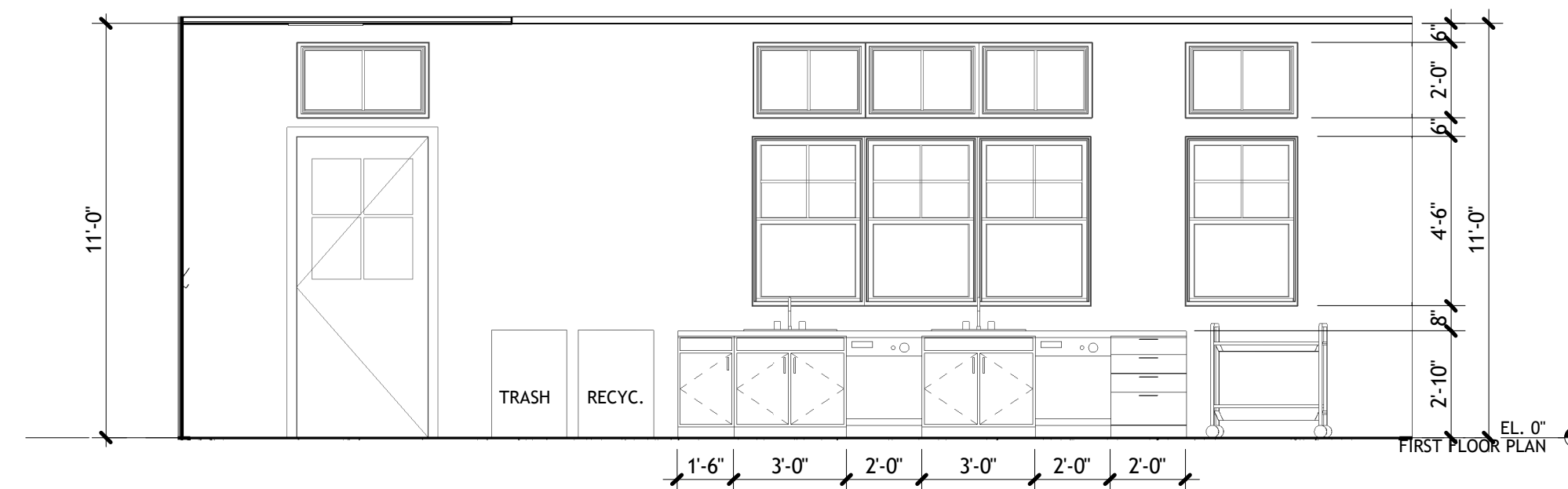
8 KITCHEN ISLAND- NORTH ELEVATION
SCALE: 1/4" = 1'-0"



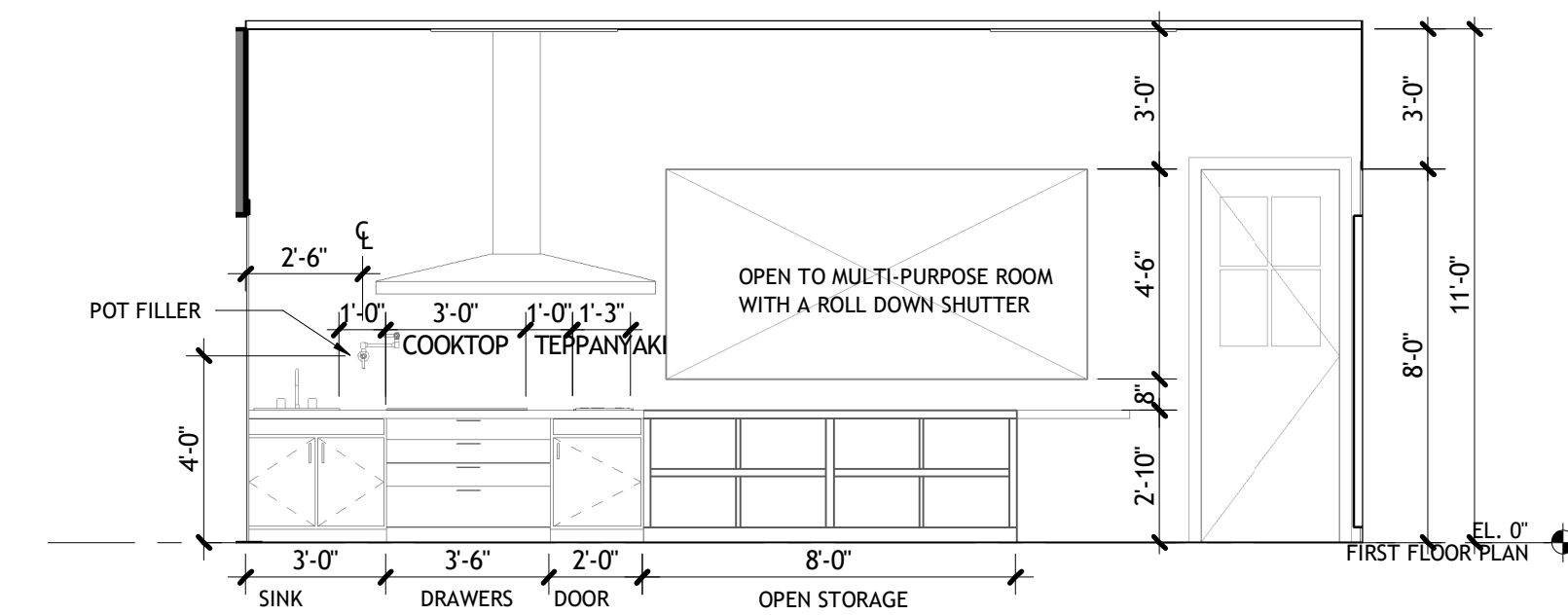
4 KITCHEN- WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 KITCHEN- EAST ELEVATION
SCALE: 1/4" = 1'-0"



7 KITCHEN- SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 KITCHEN- NORTH ELEVATION
SCALE: 1/4" = 1'-0"

No.	Description	Date

© COPYRIGHT 2020

ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS APPEARING HEREIN SHALL REMAIN THE PROPERTY OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC. AND AS SUCH IS NOT TO BE DUPLICATED IN ANY FORM OR DISCLOSED OR OTHERWISE USED WITHOUT THE EXPRESS WRITTEN CONSENT OF GORMAN RICHARDSON LEWIS ARCHITECTS, INC.

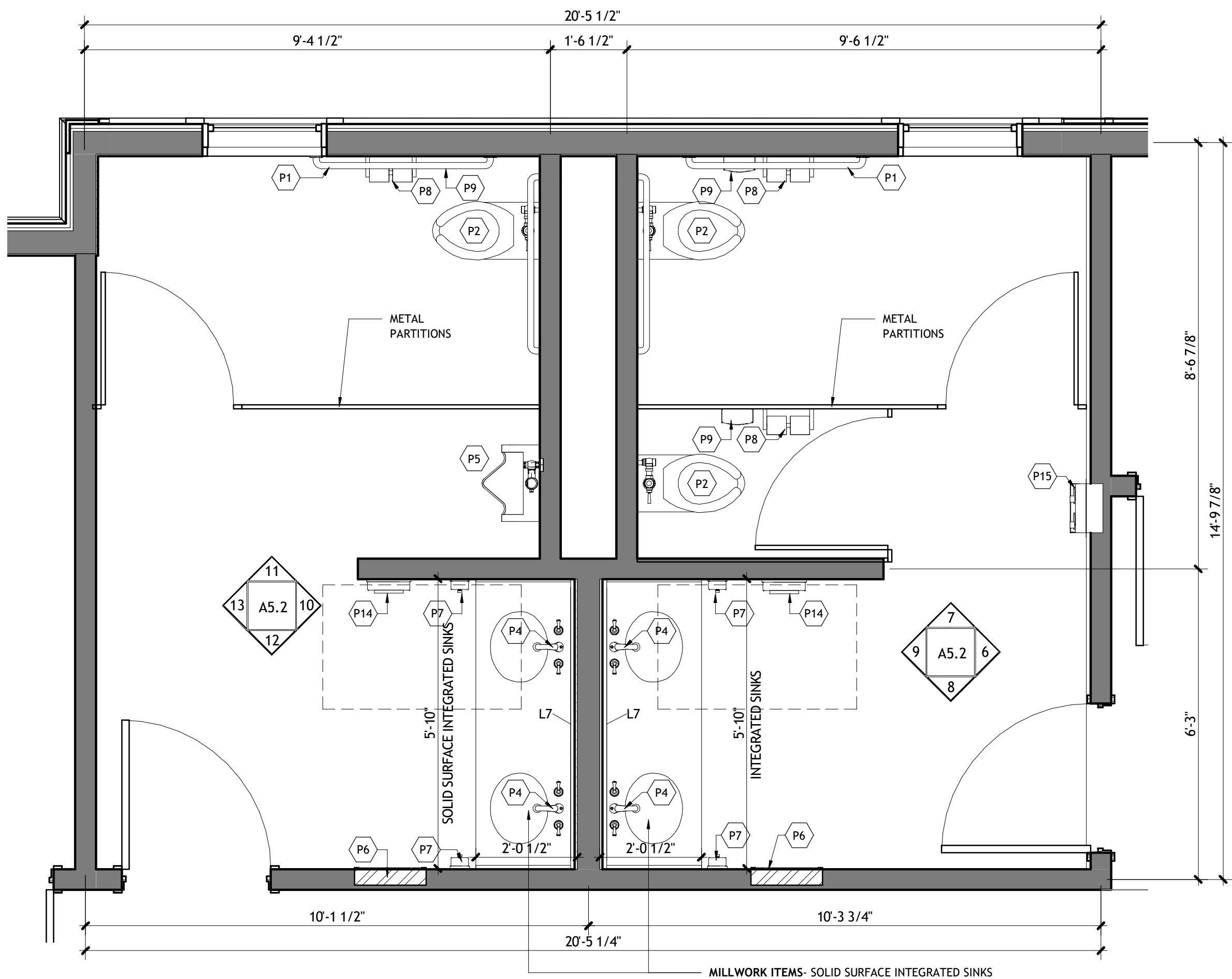
ALL DRAWN OR WRITTEN INFORMATION OR GRAPHICS HEREIN IS NOT GUARANTEED AGAINST ERRORS AND OMISSIONS, DESIGN CALCULATIONS AND DIMENSIONS, DATA TRANSMISSION, OR DATA TRANSLATION.

Date:	12/22/2020
Proj. No.:	2020120.01
Scale:	1/4" = 1'-0"
Drawn By:	DS / JAW
Checked By:	GO

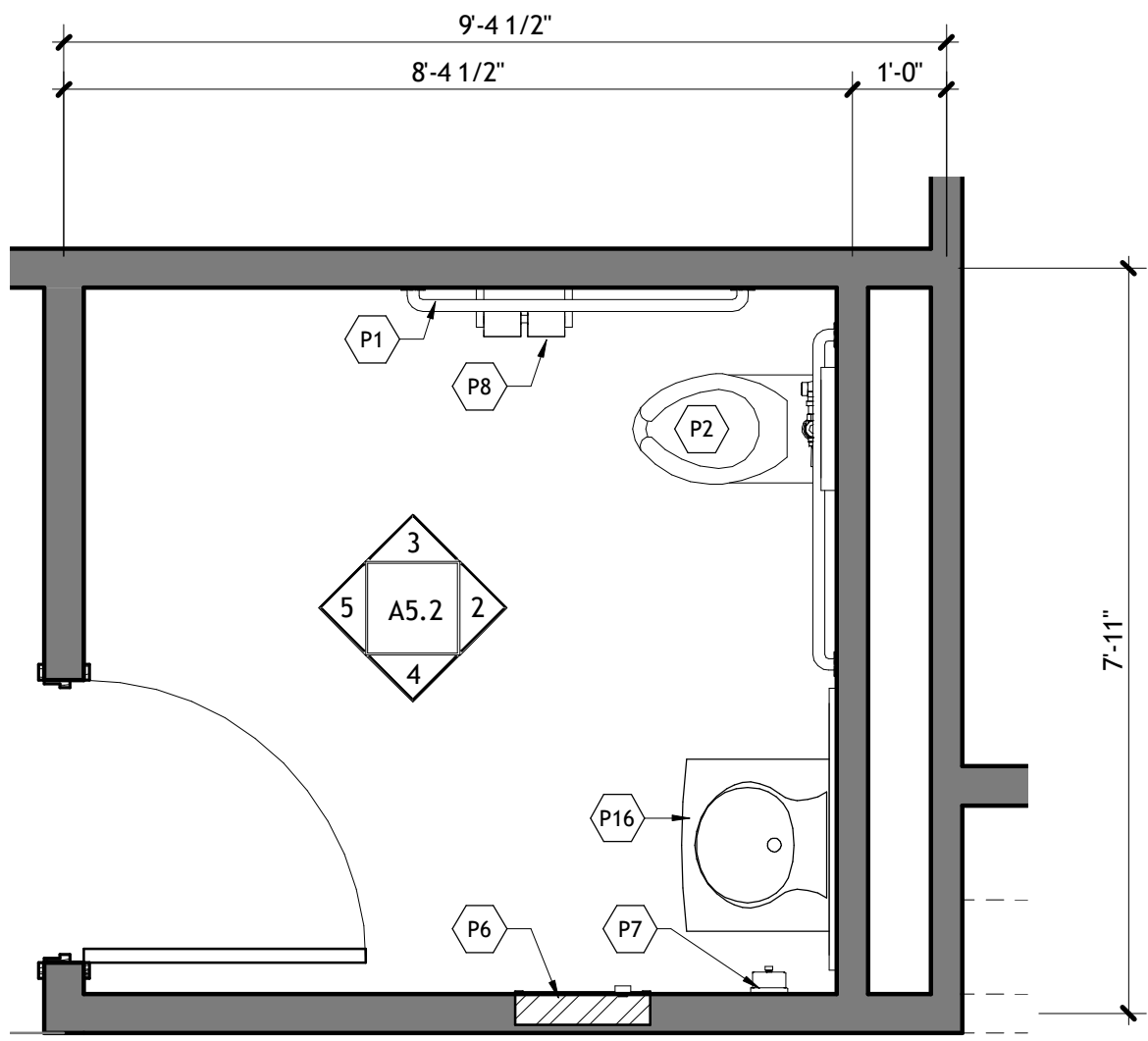
ENLARGED KITCHEN PLANS AND ELEVATIONS

A5.1

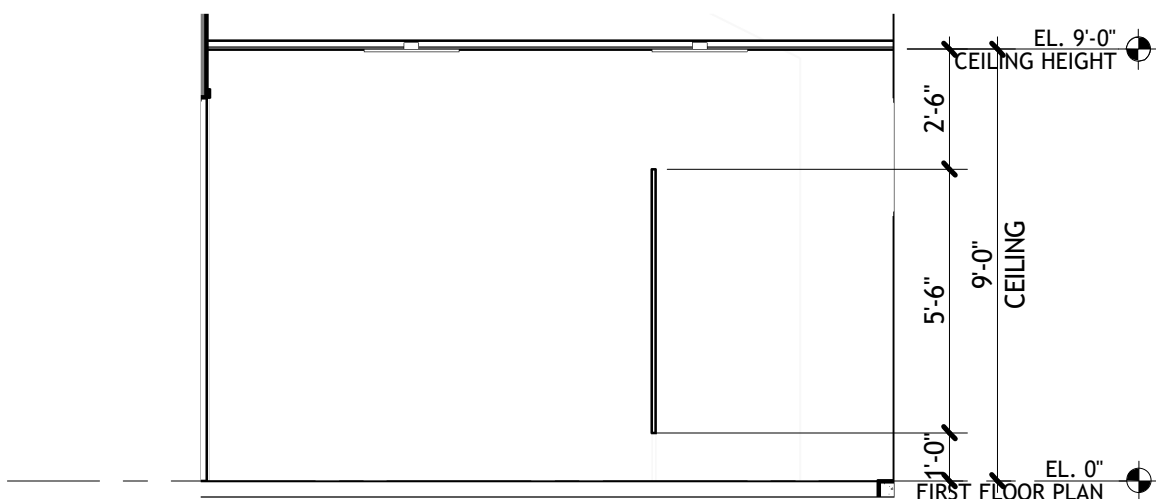
12/22/2020 4:35:22 PM C:\Revit Local\10 Elm St_dsoliman@grlarchitects.com.rvt



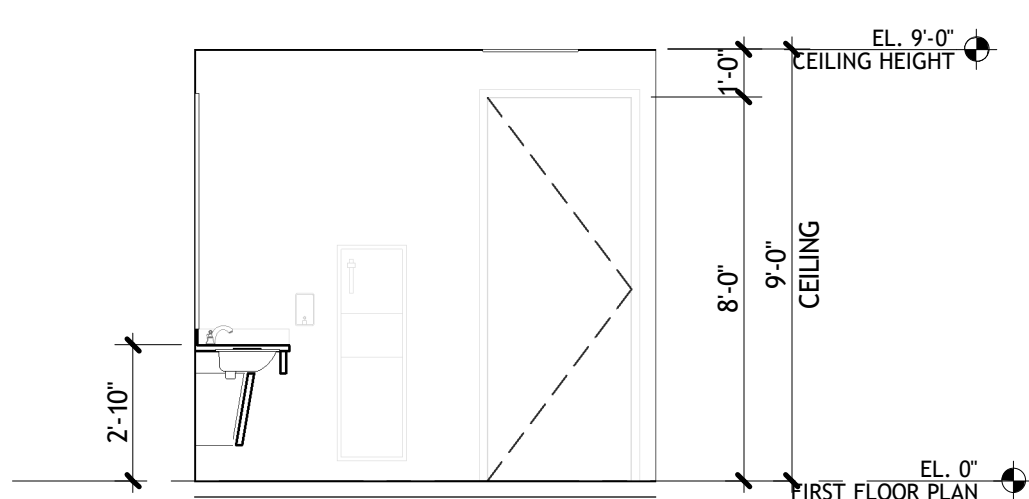
1 ENLARGED MEN AND WOMEN RESTROOMS
SCALE: 1/2" = 1'-0"



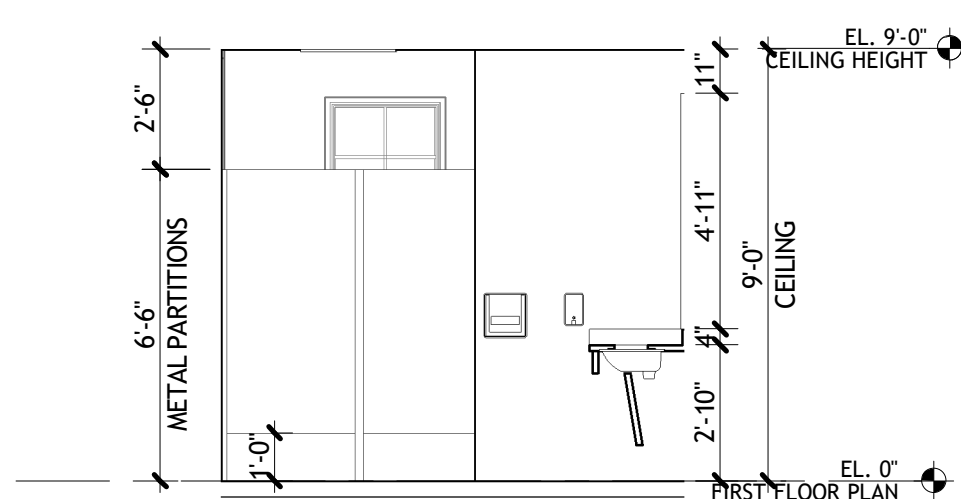
14 ENLARGED COMPANION TOILET PLAN
SCALE: 1/2" = 1'-0"



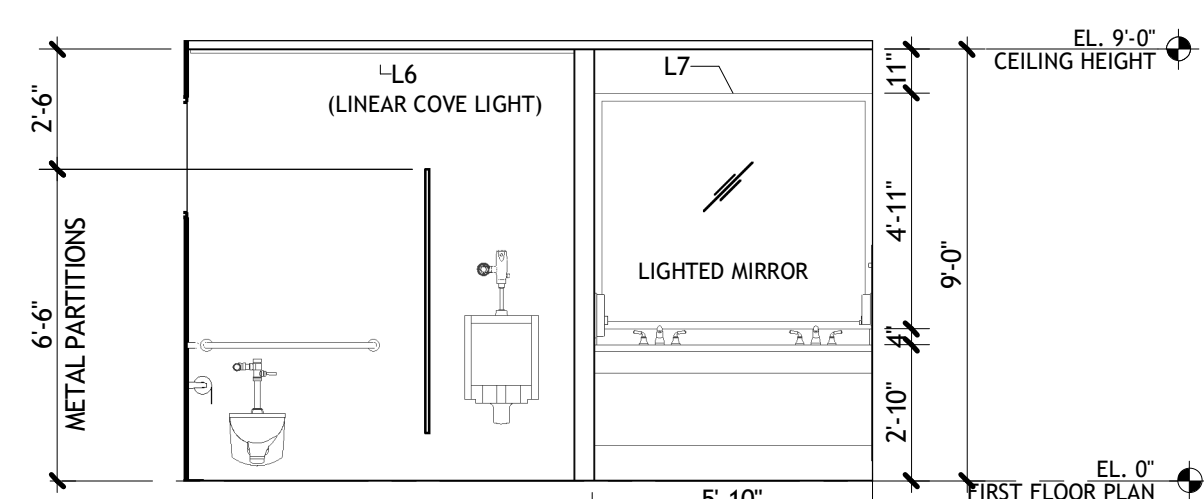
13 MEN'S WEST ELEVATION
SCALE: 1/4" = 1'-0"



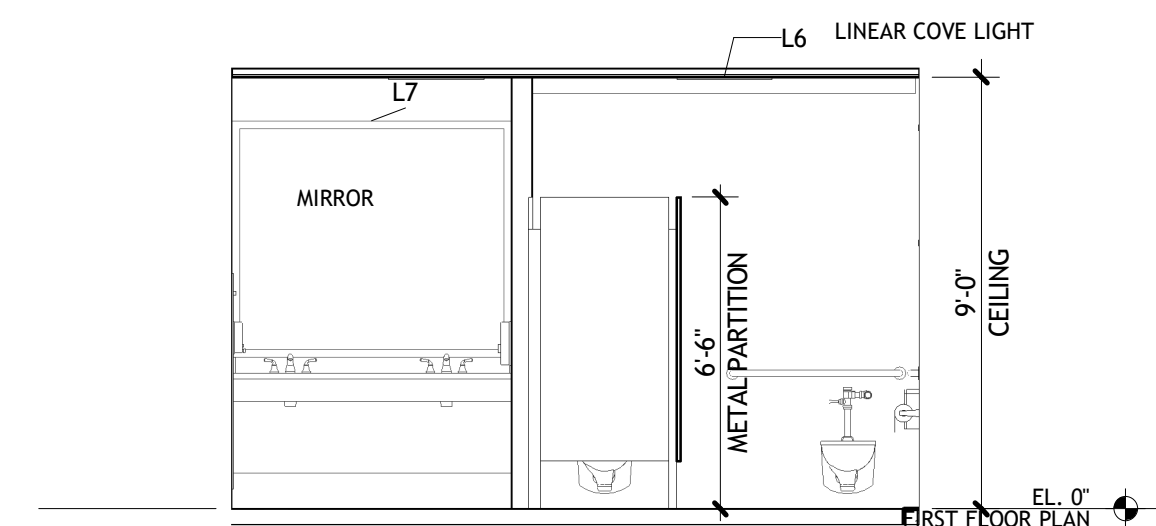
12 MEN'S SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



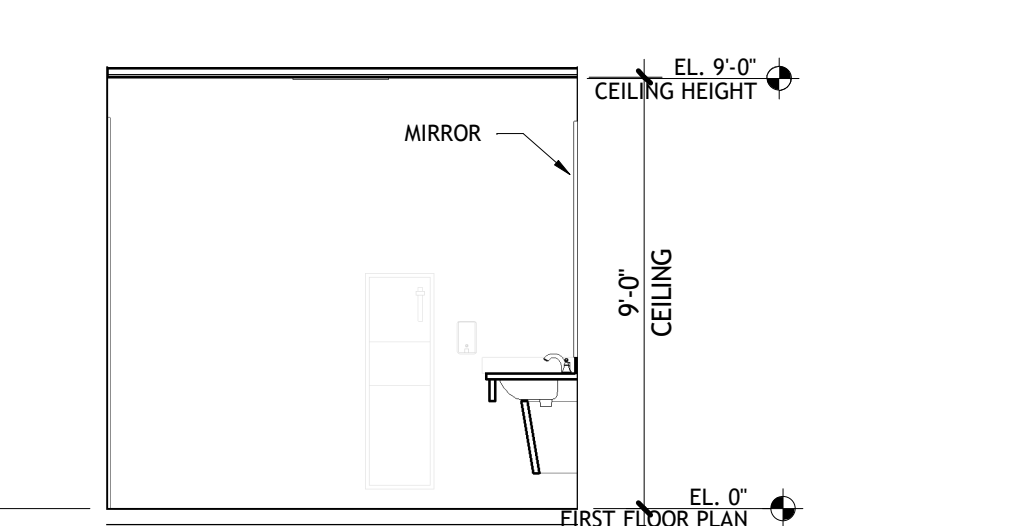
11 MEN'S NORTH ELEVATION
SCALE: 1/4" = 1'-0"



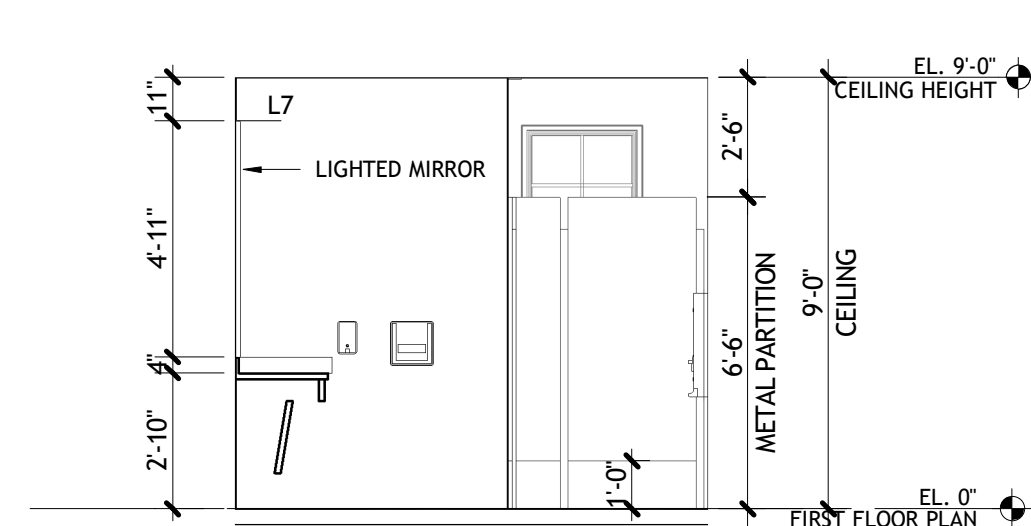
10 MEN'S EAST ELEVATION
SCALE: 1/4" = 1'-0"



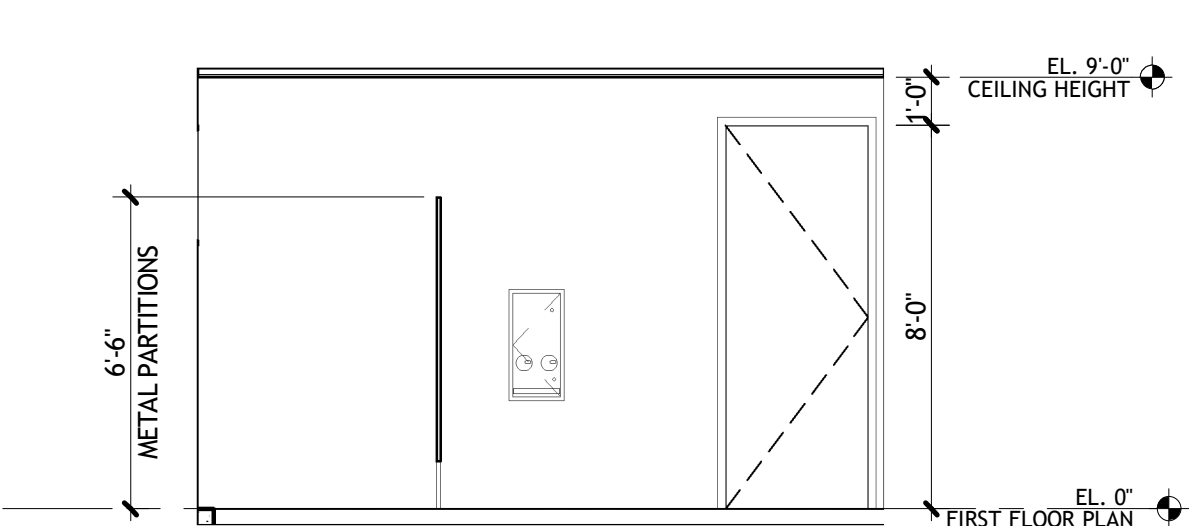
9 WOMEN'S WEST ELEVATION
SCALE: 1/4" = 1'-0"



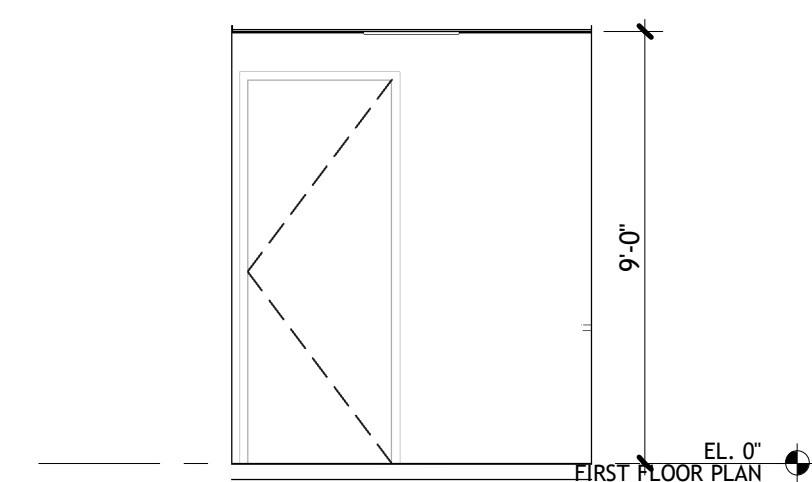
8 WOMEN'S SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



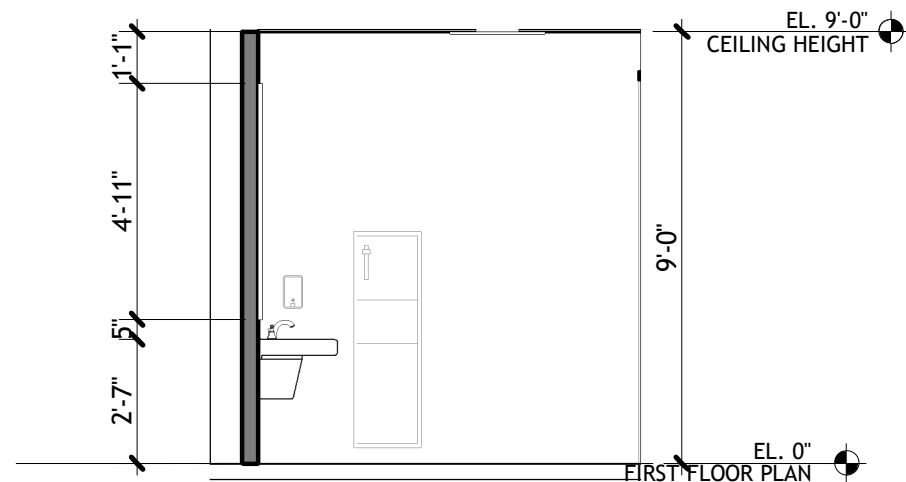
7 WOMEN'S NORTH ELEVATION
SCALE: 1/4" = 1'-0"



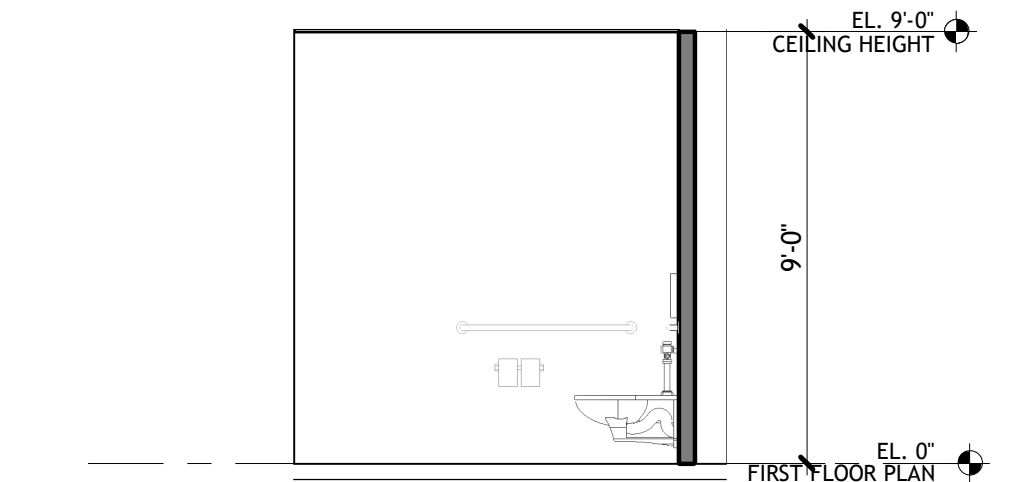
6 WOMEN'S EAST ELEVATION
SCALE: 1/4" = 1'-0"



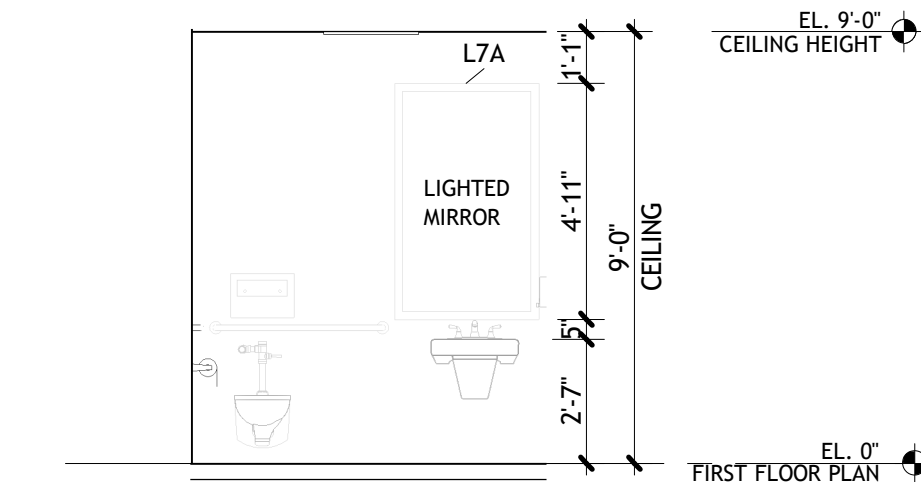
5 COMPANION TR- WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 COMPANION TR SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 COMPANION TR NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 COMPANION TR EAST ELEVATION
SCALE: 1/4" = 1'-0"

PLUMBING GENERAL NOTES		
1.)	ALL TOILETS TO BE FLOOR MOUNTED AND ADA AND MASS. PLUMBING CODE COMPLIANT WITH MANUALLY OPERATED FLUSHMETER VALVES	
2.)	ALL SINKS INTEGRATED COUNTER SINKS, ADA AND MASS. PLUMBING CODE COMPLIANT WITH MANUALLY OPERATED HOT AND COLD VALVES AT FAUCET	
3.)	PROVIDE P.T. WOOD BLOCKING IN WALLS FOR MOUNTING ALL EQUIPMENT AND FIXTURES	
4.)	..	
5.)	FOR ELECTRIC HAND DRYERS OR ADDITIONAL ACCESSORIES TO BE COORDINATED WITH CLIENT	

PLUMBING FIXTURE SCHEDULE		
KEY	PRODUCT	NOTES
P1	GRAB BAR	TBD
P2	WALL MOUNTED ADA WATER CLOSET	TBD BASED ON THE WATER TEST FLOW RESULT- TO BE COORDINATED WITH PLUMBING ENGINEER
P3	LAVATORY	TBD
P4	FAUCET	TBD
P5	URINAL	TBD
P6	WASTE RECEPTACLE - BY OWNER	TBD
P7	WALL MOUNT SOAP DISPENSER- LOCATION BY OWNER	TBD
P8	SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	TBD
P9	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	TBD
P10	MIRROR	TBD
P11	COAT HOOK	TBD
P12	CLOTHES HOOK	TBD
P13	FLOOR DRAIN	TBD
P14	HAND DRYER	TBD
P15	SEMI RECESSED SANITARY NAPKIN DISPENSER	TBD
P16	WALL MOUNTED SINK	TBD

THE CENTER AT 10 ELM COMMUNITY/ SENIOR CENTER

10 ELM STREET
BOXFORD, MA 01921

TOWN OF BOXFORD

TOWN HALL
7A SPOFFORD ROAD
BOXFORD, MA 01921

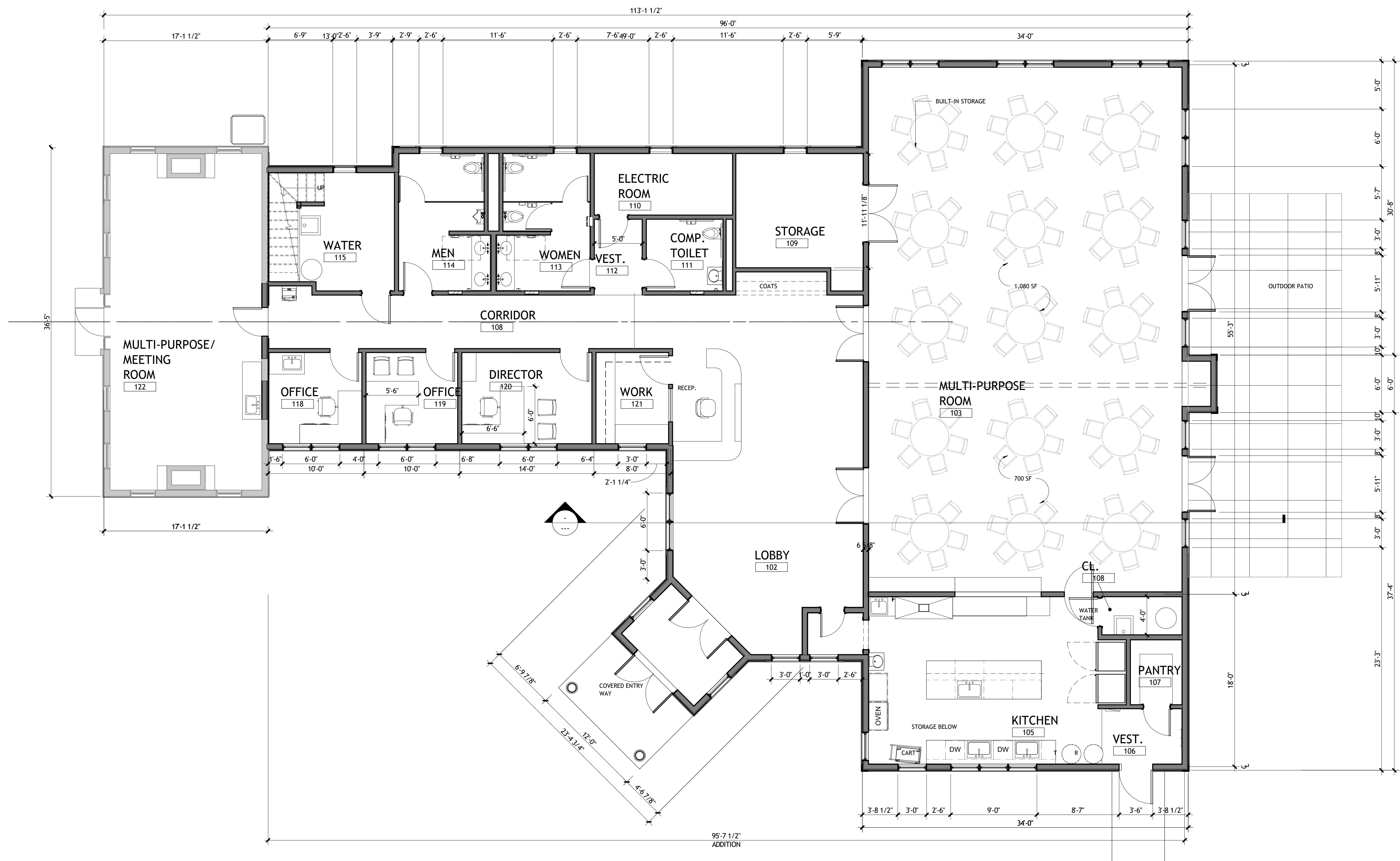
G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

ENLARGED TOILET ROOMS PLANS AND ELEVATIONS

A5.2

2020120.01 - TOWN OF BOXFORD THE CENTER AT 10 ELM COMMUNITY/ SENIOR CENTER - DESIGN DEVELOPMENT SET - 12/22/2020



1 FIRST FLOOR FURNITURE PLAN
SCALE: 3/16" = 1'-0"